

# GRIFFIN COMMERCIAL CENTER

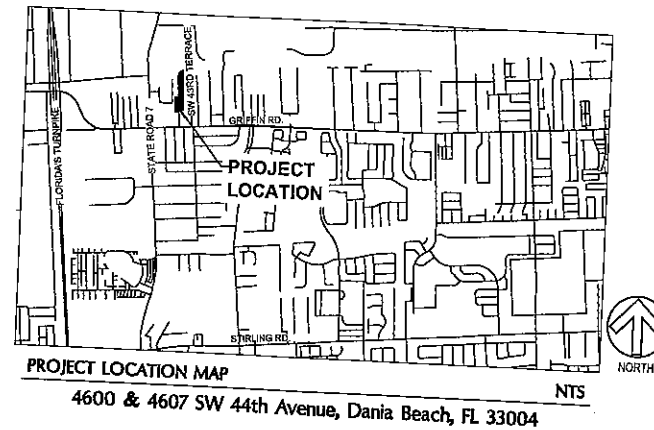
CITY OF DANIA BEACH  
BROWARD COUNTY, FLORIDA USA

## DRC RE-SUBMITTAL SP-125-15 & VA-126-15

MARCH 1, 2016

### LEGAL DESCRIPTION:

A PORTION OF PARCEL "A" OF GRIFFIN NEW RIVER PLAT, LESS THE SOUTH 180.00 FEET THEREOF, AND ALL OF PARCEL "B", AS RECORDED IN PLAT BOOK 159, PAGE 18, BROWARD COUNTY RECORDS, SAID LANDS LYING AND BEING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA.



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### PROJECT TEAM



PRIME CONSULTANT  
LANDSCAPE ARCHITECT  
CIVIL ENGINEER

**CRAVEN THOMPSON & ASSOCIATES, INC.**  
3563 N.W. 53RD STREET  
FORT LAUDERDALE, FL 33309  
954-739-6400



ARCHITECT

**GBM ARCHITECTURE, PA**  
2801 SW 3RD AVENUE, UNIT F8  
FORT LAUDERDALE, FL 33315  
954-713-6101

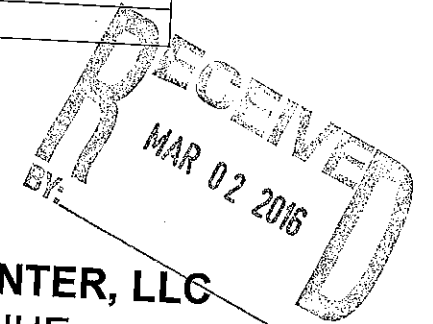


SURVEY

**SHAH DROTOS & ASSOCIATES**  
3410 N. ANDREWS EXTENSION  
POMPANO BEACH, FL 33064  
954-943-9433

PREPARED FOR:

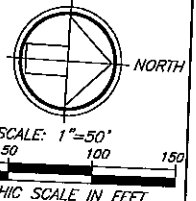
**GRIFFIN COMMERCIAL CENTER, LLC**  
4600 & 4607 SW 44TH AVENUE  
DANIA BEACH, FL 33314



FILE COPY

**LEGEND**

AL.P.	ALUMINUM LIGHT POLE	BST	BELL SOUTH TELEPHONE
GV	GATE VALVE	DDCV	DOUBLE DETECTOR CHECK VALVE
F.HYD.	FIRE HYDRANT	ICV	IRRIGATION CONTROL VALVE
L.P.	LIGHT POLE	CB	CATCH BASIN
C.O.	CLEAN-OUT	BFP	BACK FLOW PREVENTER
ELEC	ELECTRIC METER BOX	IRC	5/8" IRON ROD WITH ID CAP
W.M.	WATER METER BOX	FND	FOUND
COL	COLUMN	CATV	CABLE TELEVISION
W.P.	WOOD POWER POLE	DI	DIAMETER
C.L.P.	CONCRETE LIGHT POLE	N&D	NAIL AND DISC
M.H.	MANHOLE	HANDI	HANDICAP
SMH	SANITARY MANHOLE	CUP	CONCRETE UTILITY POLE
ORB	OFFICIAL RECORDS BOOK	DMH	DRAINAGE MANHOLE
PB	PLAT BOOK	IPC	IRON PIPE MONUMENT WITH ID CAP
PG	PAGE	PRM	CONCRETE MONUMENT WITH ID DISC
TYP	TYPICAL	POINC.	ROYAL POINCIANA TREE
F.FE	FINISHED FLOOR ELEVATION	MAHOG.	MAHOGANY TREE
BOL	BOLLARD		

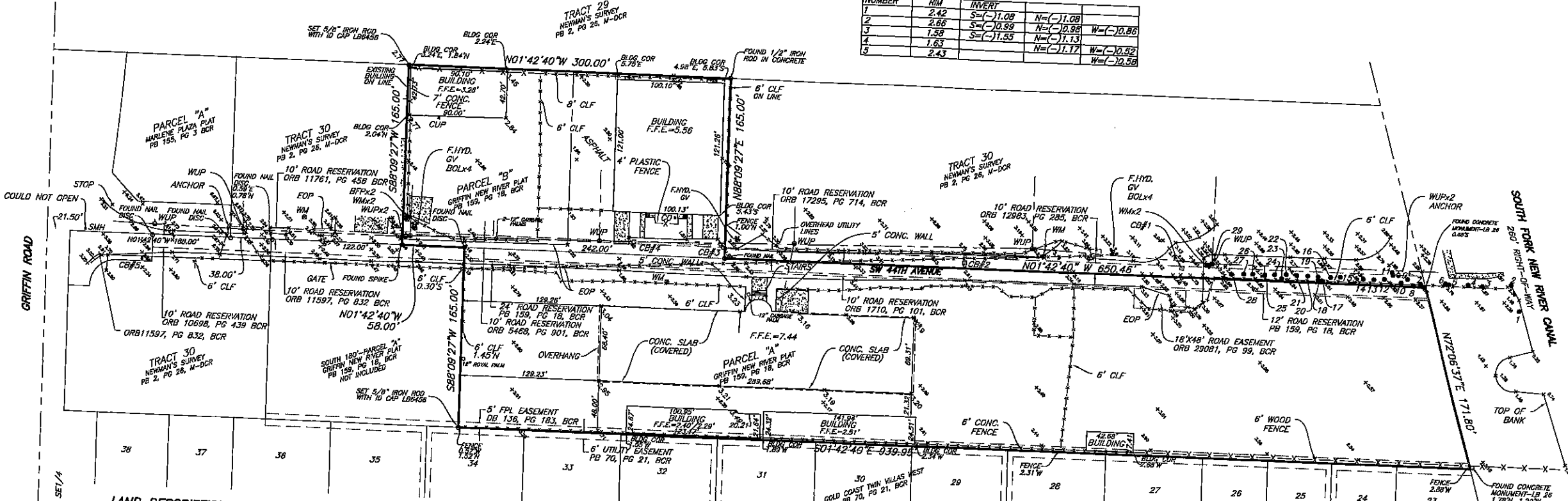


**TREE LEGEND**

NUMBER	TYPE	DIAMETER	NUMBER	TYPE	DIAMETER
1	POINCIANA	12"	16	COCO PALM	7"
2	POINCIANA	15"	17	POINCIANA	4"
3	POINCIANA	4"	18	POINCIANA	4"
4	POINCIANA	4"	19	UNKNOWN	3"
5	POINCIANA	4"	20	COCO PALM	7"
6	POINCIANA	8"	21	OAK	5"
7	POINCIANA	5"	22	COCO PALM	7"
8	PALM	8"	23	POINCIANA	(2) 5"
9	COCO PALM	8"	24	OAK	5"
10	POINCIANA	4"	25	COCO PALM	7"
11	CABBAGE PALM	15"	26	OAK	5"
12	MAHOGANY	10"	27	COCO PALM	7"
13	COCO PALM	7"	28	OAK	7"
14	OAK	3"	29	CABBAGE PALM	12"
15	OAK	3"			

**DRAINAGE STRUCTURES:**

NUMBER	RIM	INVERT
1	2.42	S=(-)1.08 N=(-)1.08
2	2.86	S=(-)0.99 N=(-)0.99 W=(-)0.86
3	1.59	S=(-)1.55 N=(-)1.13
4	1.63	S=(-)1.17 W=(-)0.92
5	2.43	S=(-)1.08 W=(-)0.96



**LAND DESCRIPTION:**  
 ALL OF PARCEL "A", LESS THE SOUTH 180 FEET THEREOF, AND ALL OF PARCEL "B", GRIFFIN NEW RIVER PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 159, PAGE 18 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.  
 SAID LANDS LYING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA, CONTAINING 200,676 SQUARE FEET (4.61 ACRES), MORE OR LESS.

**SURVEY NOTES:**

- LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH DROTOS & ASSOCIATES FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD, TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS OR RIGHTS-OF-WAY OF RECORD THIS SURVEY IS BASED UPON COMMITMENT FOR TITLE INSURANCE DATED MAY 25, 2015, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE FUND (FUND FILE NUMBER 110-2015-190536). LANDS DESCRIBED HEREON ARE SUBJECT TO THE FOLLOWING ITEMS LISTED IN SCHEDULE B-II OF SAID COMMITMENT. ALL RECORDING REFERENCES ARE TO THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
  - ITEM 11 ALL MATTERS CONTAINED ON THE PLAT OF GRIFFIN NEW RIVER PLAT, AS RECORDED IN PLAT BOOK 159, PAGE 18. ALL PLOTTABLE MATTERS ARE SHOWN ON THE SURVEY. PLATTED EASEMENTS ARE PLOTTED ON THE SURVEY. NOTE: THERE IS A 15' AND 20' UTILITY EASEMENT SHOWN ON THE PLAT AND RECORDED IN ORB 6641, PAGE 882 THAT COULD NOT BE PLOTTED BASED ON THE RECORDING INFORMATION SHOWN ON THE PLAT.
  - ITEM 12 RESERVATIONS IN FAVOR OF THE STATE OF FLORIDA, AS SET FORTH IN DEED NO. 16571, FROM THE TRUSTEES OF THE INTERVAL IMPROVEMENT FUND OF THE STATE OF FLORIDA RECORDED IN DEED BOOK 7, PAGE 576, WHICH WERE PARTIALLY RELEASED BY O.R. BOOK 6605, PAGE 907 AND O.R. BOOK 7008, PAGE 958; HOWEVER, THE RIGHT OF ENTRY AND EXPLORATION ASSOCIATED WITH THE OIL AND MINERAL RESERVATION HAS BEEN RELEASED PURSUANT TO SEC. 270.11, FLORIDA STATUTES. NOT A PLOTTABLE ITEM.
  - ITEM 13 EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY RECORDED IN DEED BOOK 365, PAGE 32. NOT A PLOTTABLE ITEM.
  - ITEM 14 RESERVATIONS IN FAVOR OF THE BOARD OF COMMISSIONERS OF EVERGLADES DRAINAGE DISTRICT, AS SET FORTH IN DEED NO. 778 RECORDED IN DEED BOOK 447, PAGE 189, WHICH WERE PARTIALLY RELEASED BY O.R. BOOK 6605, PAGE 908 AND O.R. BOOK 7009, PAGE 958. NOT A PLOTTABLE ITEM.
  - ITEM 15 EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN O.R. BOOK 987, PAGE 425. DOES NOT AFFECT SUBJECT PROPERTY.
  - ITEM 16 COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN WARRANTY DEEDS RECORDED IN O.R. BOOK 1710, PAGE 101 AND O.R. BOOK 5468, PAGE 901. NOT A PLOTTABLE ITEM.
  - ITEM 17 DEVELOPER'S AGREEMENT WITH BROWARD COUNTY RECORDED IN O.R. BOOK 6828, PAGE 249, TOGETHER WITH THE BILL OF SALE ABSOLUTE TO BROWARD COUNTY RECORDED IN O.R. BOOK 6870, PAGE 829. NOT A PLOTTABLE ITEM.
  - ITEM 18 WARRANTY DEED TO BROWARD COUNTY RECORDED IN O.R. BOOK 9515, PAGE 591. DOES NOT AFFECT THE SUBJECT PROPERTY.
  - ITEM 19 EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN O.R. BOOK 9606, PAGE 365. DOES NOT AFFECT THE SUBJECT PROPERTY.
  - ITEM 20 EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN O.R. BOOK 9608, PAGE 367. DOES NOT AFFECT THE SUBJECT PROPERTY.
  - ITEM 21 DECLARATION OF RESTRICTIVE COVENANTS FOR PRIVATE PAVED ROADWAYS AND ACCESS RECORDED IN O.R. BOOK 29081, PAGE 99. ROAD EASEMENT PLOTTED ON SURVEY.
- UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
- BEARINGS SHOWN HEREON ARE BASED ON THE STOWER/KEITH RESURVEY NO. 31 OF TOWNSHIP 50 SOUTH, RANGE 41 EAST AS RECORDED IN MISCELLANEOUS PLAT BOOK 5, PAGE 9 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND TRANSFORMED TO THE NORTH AMERICAN DATUM OF 1983, 1990 ADJUSTMENT. THE REFERENCE BEARING IN SOUTH 89°09'27" WEST FOR THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER (SE1/4) OF SECTION 25, TOWNSHIP 50 SOUTH, RANGE 41 EAST.
- FLOOD ZONE INFORMATION:
 

COMMUNITY NUMBER	120034
PANEL NUMBER	0554H
ZONE	X AND AH
BASE ELEVATION	5 (AH)
MAP DATE	08-18-14
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BENCHMARK INFORMATION: BROWARD COUNTY ENGINEERING DEPARTMENT BENCHMARK #1479-SQUARE CUT EAST END CONCRETE STOOP IN FRONT OF TWO-STORY CBS BUILDING, 3323 GRIFFIN ROAD, 185' (+OR-) WEST OF CENTER OF ASPHALT OF SOUTHWEST 35 AVE., 87' (+OR-) NORTH OF CENTERLINE ASPHALT GRIFFIN ROAD, 11' WEST OF EAST END OF BUILDING. ELEVATION=6.961 (NGVD29), 5.381 (NAVD88).

**CERTIFIED TO:**  
 COMPLETE CLOSING SOLUTIONS, LLC  
 CHRISTOPHER J. GERTZ, PA  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
 GRIFFIN COMMERCIAL CENTER LLC  
 FLORIDA COMMUNITY BANK, NA  
 GREENSPOON HARDER

**REVISIONS**

DATE	BY	DESCRIPTION
08/21/15	MDR	UP-DATE AND VERIFY SURVEY
07/29/15	MDR	ADD RIMS AND AMETS; LOCATE TREES
11/28/15	MDR	ADDITIONAL RIMS AND AMETS AND TREES

**SHAH DROTOS & ASSOCIATES**  
 ENGINEERING SURVEYING PLANNING  
 ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. 19-8456  
 3410 N. Andrews Avenue, Ext. 1 Pompano Beach, FL 33064  
 PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MDR  
 CHECKED BY: MDR  
 DESIGNED BY:  
 APPROVED BY: S.D.A.  
 SCALE: 1"=50'

A PORTION OF PARCEL "A" AND ALL OF PARCEL "B"  
 GRIFFIN NEW RIVER PLAT  
 PLAT BOOK 159, PAGE 18, BCR  
 CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA  
**BOUNDARY AND TOPOGRAPHIC SURVEY**

**SEAL**  
 FOR THE FIRM, BY:  
 11/23/15  
 MICHAEL D. ROSE  
 PROFESSIONAL SURVEYOR  
 AND MAPPER  
 FLORIDA REG. NO. 3998  
 DATE: JUNE 2015  
 JOB NO. 1069A.00  
 SHEET

**SITE DATA**

LEGAL DESCRIPTION:  
ALL OF PARCEL "A", LESS THE SOUTH 180 FEET THEREOF, AND ALL OF PARCEL "B", GRIFFIN NEW RIVER PLAT, ACCORDING TO THE PLATT THEREOF, AS RECORDED IN PLAT BOOK 159, PAGE 18 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS LYING IN THE CITY OF DANIA BEACH, BROWARD COUNTY, FLORIDA, CONTAINING 200,676 SQUARE FEET (4.61 ACRES), MORE OR LESS.

ZONING DESIGNATION: I-G INDUSTRIAL ADJACENT ZONING DESIGNATIONS: SR7 CCD-RC  
LAND USE DESIGNATION: INDUSTRIAL ADJACENT LAND USE DESIGNATIONS: RMH MOBILE HOME  
RD-8000 RESIDENTIAL

SITE CALCULATIONS:  
PARCEL "A": SF = +/- 3.47 ACRES  
PARCEL "B": SF = +/- 1.139 ACRES  
PARCELS TOTAL: 200,775 SF = +/- 4.61 ACRES

BUILDING DATA:	LOT COVERAGE:	GROSS FLOOR AREA:
BLDG. '1' EXISTING	12,100 SF	12,100 SF
BLDG. '2' NEW	18,712 SF	18,712 SF
BLDG. '3' NEW	64,962 SF	64,962 SF
<b>BUILDING LOT COVERAGE TOTAL*</b>	<b>95,774 SF</b>	<b>GROSS FLOOR AREA TOTAL</b>
*INCLUDES ALL ROOFED STRUCTURES		<b>95,774 SF</b>

PERVIOUS AREA:	REQUIRED	PROVIDED	
	40,155 SF. (20% OF TOTAL 4.61 AC)	GREEN AREA: 19,106 SF	
		PERVIOUS PAVER 15,063 @ 75%	11,297 SF
		<b>TOTAL PERVIOUS AREA PROVIDED:</b>	<b>30,403 SF</b>
			15% OF SITE

IMPERVIOUS AREA: 170,372 SF 85% OF SITE

PARKING:	REQUIRED	PROVIDED	
REGULAR SPACES	92 SPACES	REGULAR SPACES	166 SPACES
HANDICAPPED SPACES	4 SPACES	HANDICAPPED SPACES	6 SPACES
<b>PARKING TOTAL: (1/1000 SF OF BLDG)</b>	<b>96 SPACES</b>	<b>TOTAL PROVIDED:</b>	<b>172 SPACES</b>
<b>BICYCLE PARKING: (10% OF GFA)</b>	<b>10 SPACES</b>		<b>38 SPACES</b>

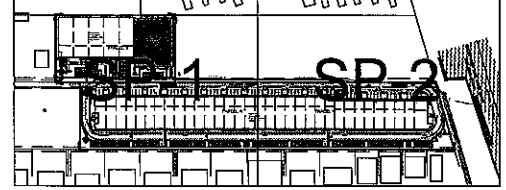
**SITE DATA**

LOT AREA:	REQUIRED	PROVIDED
PARCEL 'A':		
AREA	20,000 SF	151,171 SF
WIDTH	100 FEET	940 FEET
DEPTH	150 FEET	165 FEET
FLOOR AREA	N/A SF	64,962 SF
PARCEL 'B':		
AREA	20,000 SF	49,503 SF
WIDTH	100 FEET	300 FEET
DEPTH	150 FEET	165 FEET
FLOOR AREA	N/A SF	30,812 SF

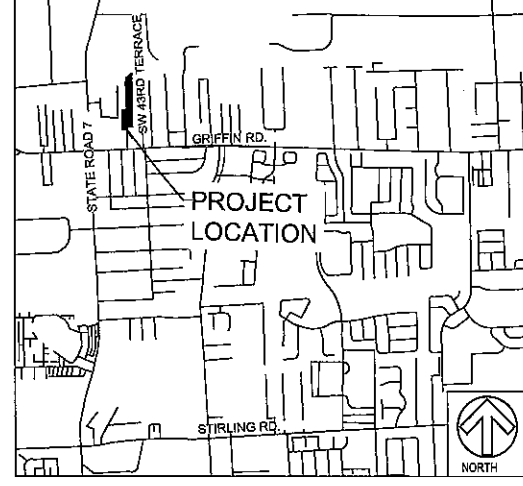
HEIGHT:	REQUIRED	PROVIDED
BLDG. '1' EXISTING	35 FEET MAX.	30.5 FEET
BLDG. '2' NEW	35 FEET MAX.	30.5 FEET
BLDG. '3' NEW	35 FEET MAX.	35 FEET

SETBACK:	REQUIRED	PROVIDED
PARCEL 'A':		
NORTH	25 FEET	29.2 FEET
SOUTH	25 FEET	37.2 FEET
EAST	75 FEET	50 FEET
WEST	35 FEET	23 FEET
PARCEL 'B':		
NORTH	25 FEET	5 FEET
SOUTH	25 FEET	5.5 FEET
EAST	35 FEET	26.7 FEET
WEST	75 FEET	5 FEET

**MAP KEY**



**LOCATION MAP**

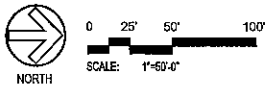
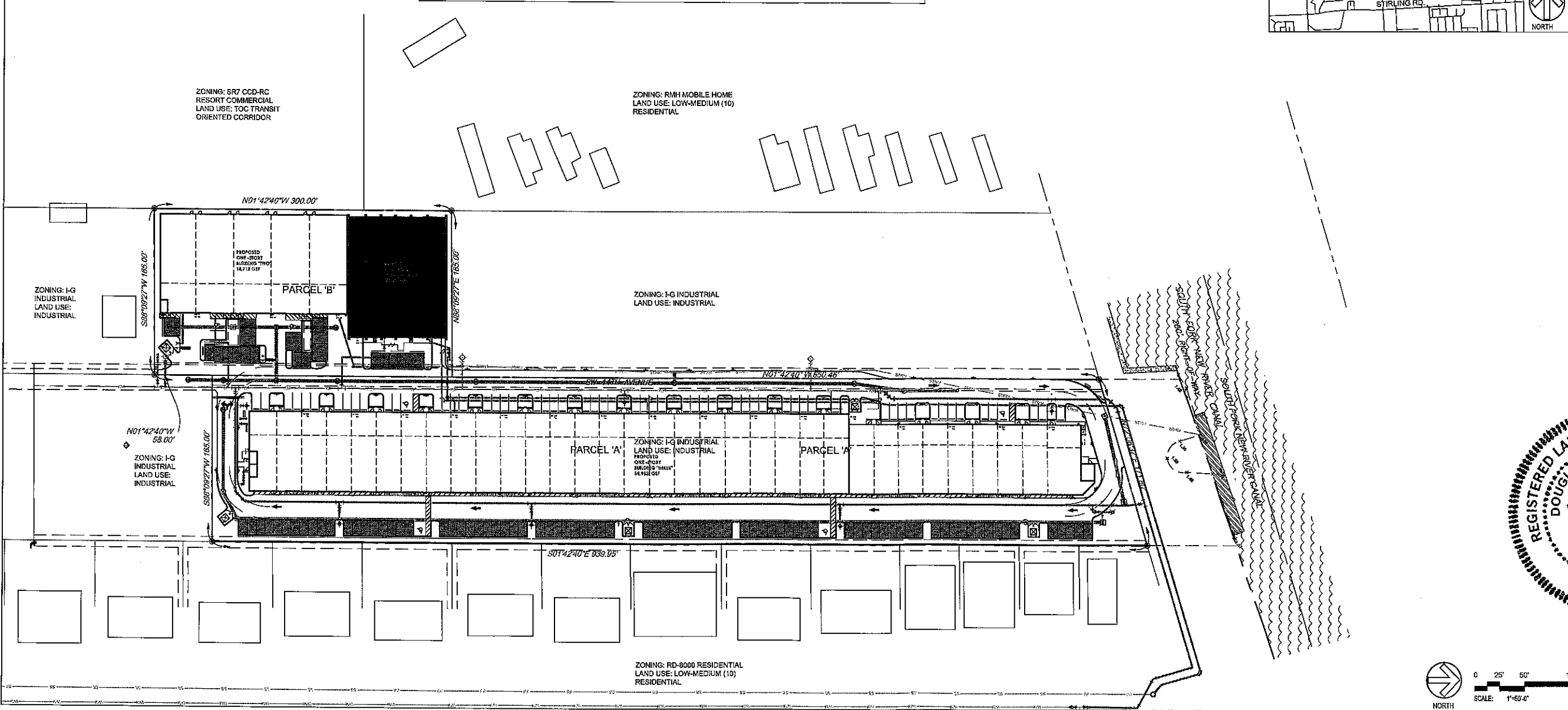


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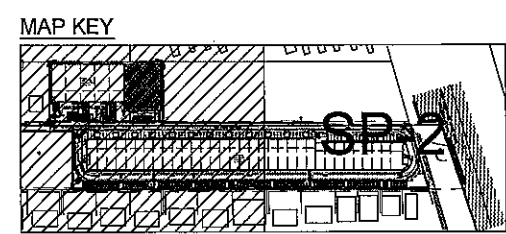
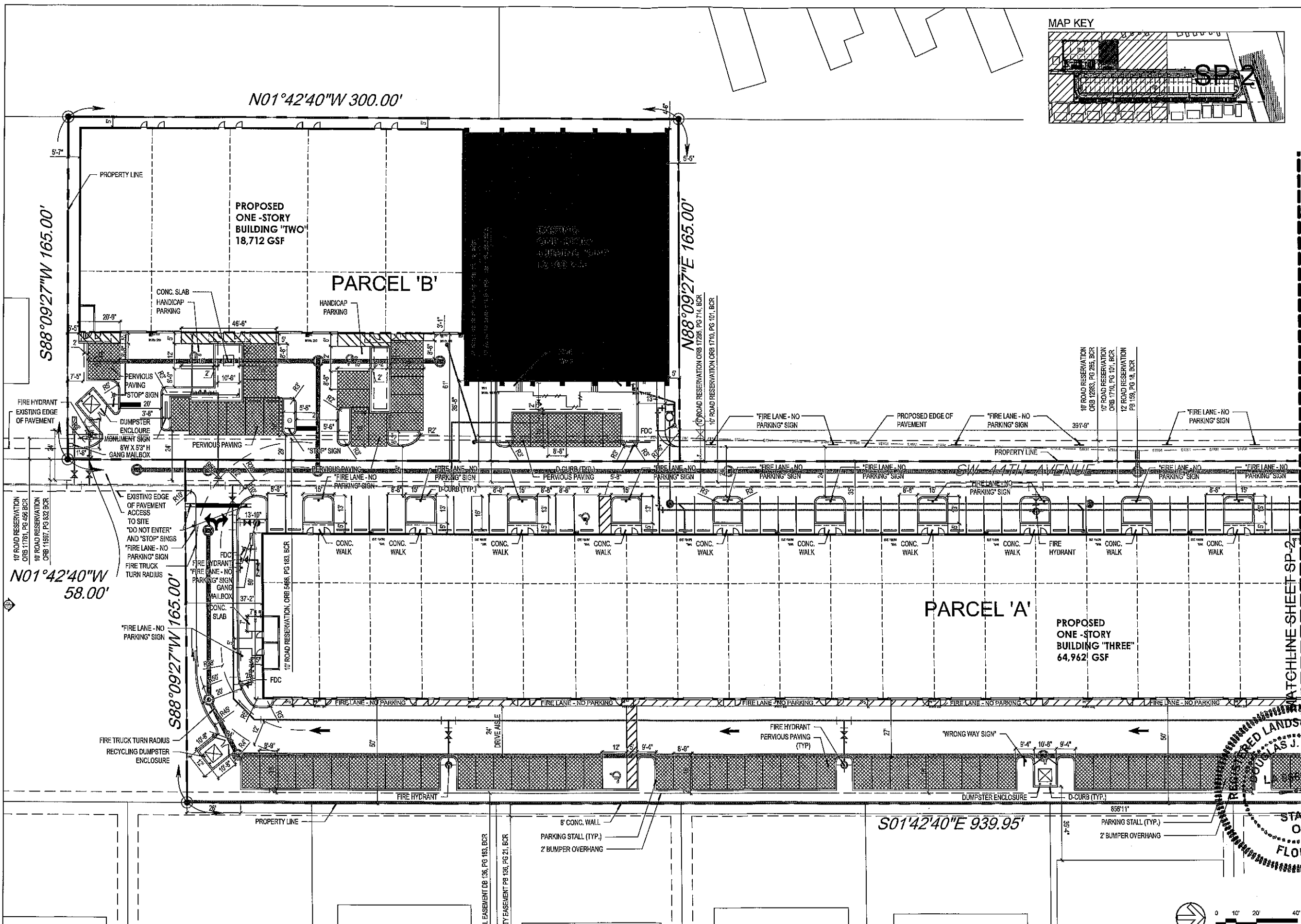
CRAVEN • THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
3863 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
TEL: (954) 739-6400  
FAX: (954) 739-6409  
FLORIDA LICENSED ENGINEERING, SURVEYING & PLANNING BUSINESS NO. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014  
LUCAS, JOHN A. MEMBER OF THE SOCIETY OF PROFESSIONAL LANDSCAPE ARCHITECTS, INC. MEMBER, AIA, ASLA, IFLA, IAS, IALAA, IALDP, IALP, IALSA, IALTA, IALTP, IALTS, IALTT, IALU, IALV, IALW, IALX, IALY, IALZ, IALAA, IALAB, IALAC, IALAD, IALAE, IALAF, IALAG, IALAH, IALAI, IALAJ, IALAK, IALAL, IALAM, IALAN, IALAO, IALAP, IALAQ, IALAR, IALAS, IALAT, IALAU, IALAV, IALAW, IALAX, IALAY, IALAZ

REGISTERED LANDSCAPE ARCHITECT  
DOUGLAS J. GRIFFIN  
LA 86669337  
STATE OF FLORIDA  
PREPARED FOR:  
COMMERCIAL CENTER, LLC  
OVERALL SITE PLAN  
PROJECT NO.  
15-0055-002-01  
OSP  
SHEET 1 OF 1

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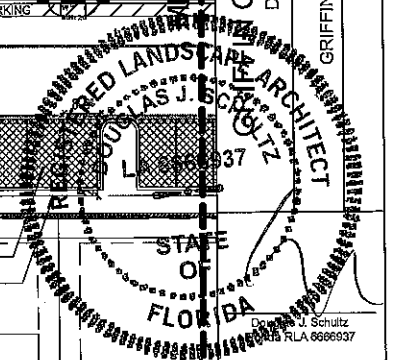
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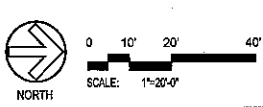
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DRAWN BY:	MFO
CHECKED BY:	DJS
APPROVED BY:	DJS
DATE:	
BY:	
DATE:	
DESCRIPTION:	

CRAVEN THOMPSON AND ASSOCIATES, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 3965 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA, 33309  
 TEL: (954) 739-9400  
 FAX: (954) 739-9409  
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 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0009117  
 15000 N.W. 42ND AVENUE, SUITE 200, FORT LAUDERDALE, FLORIDA 33309  
 WWW.CTASOCIATES.COM

COMMERCIAL CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCIAL CENTER, LLC  
**SITE PLAN**

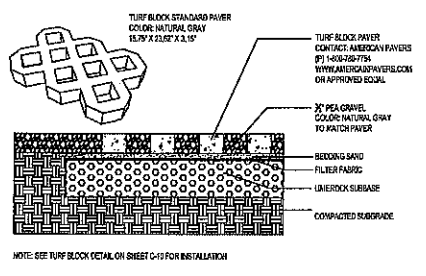


PROJECT NO.  
 15-0055-002-01  
**SP-1**  
 SHEET 1 OF 2

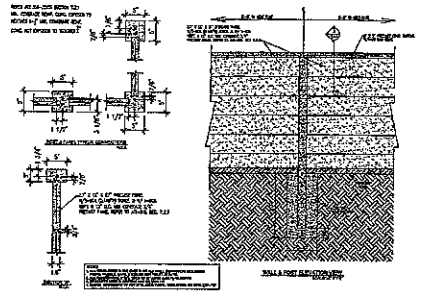


02 MAR 2016

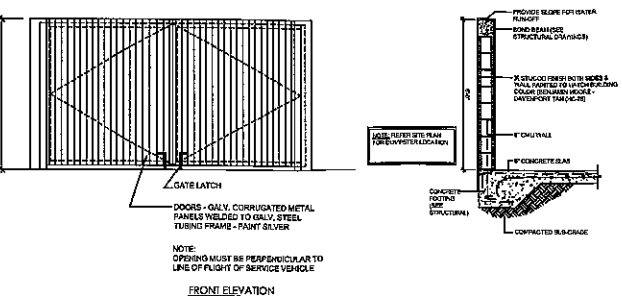
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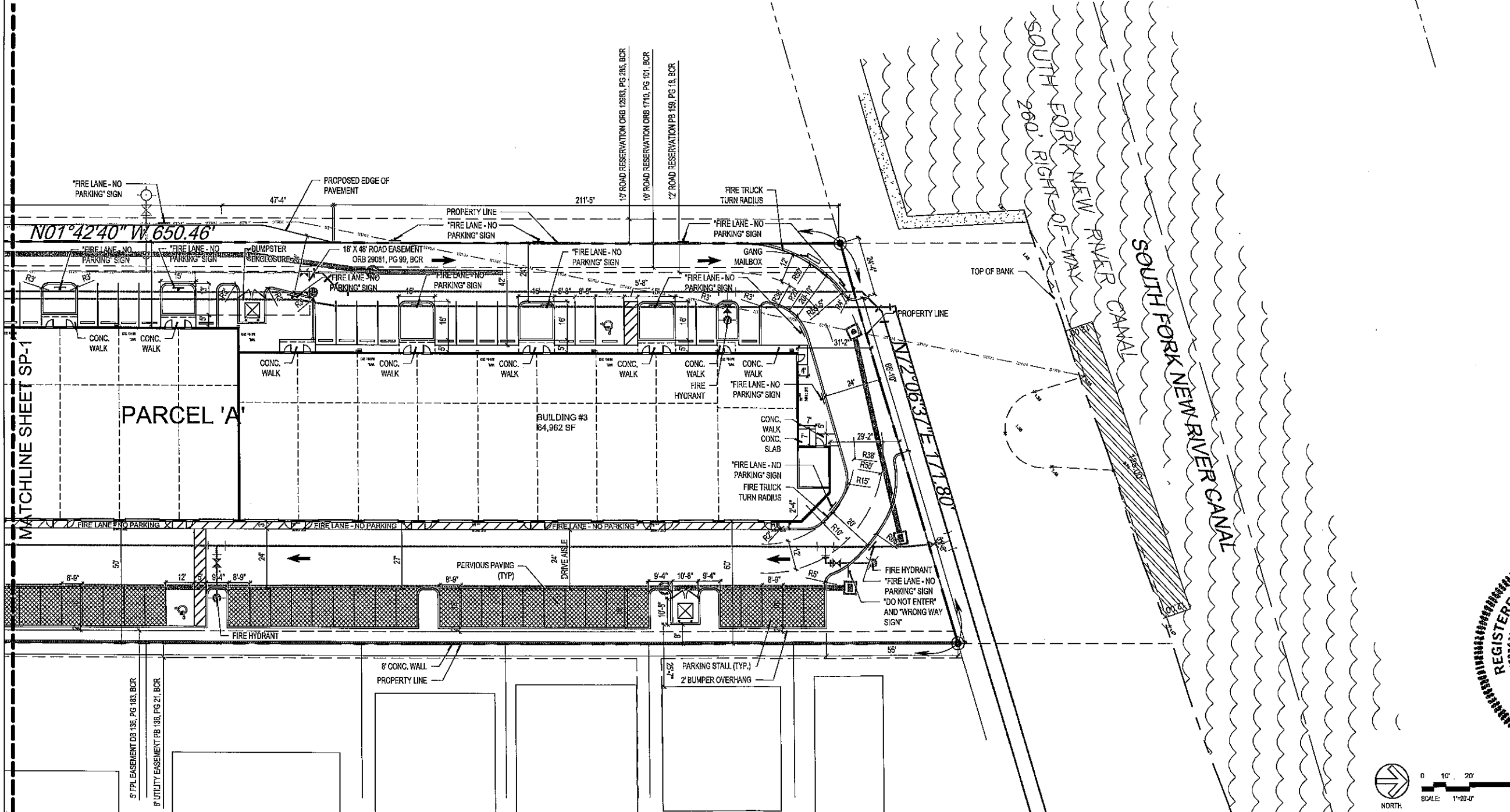
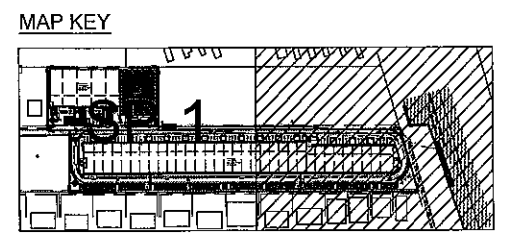
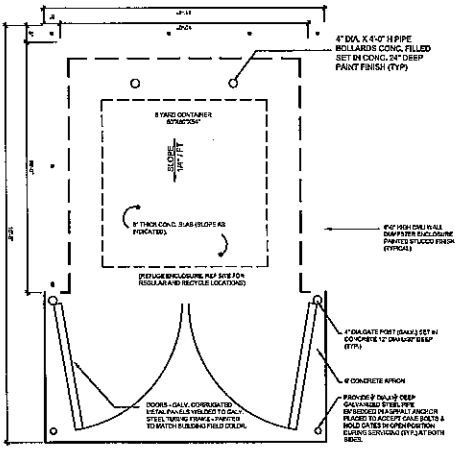
1 PERVIOUS TURF BLOCK PAVERS  
DETAIL



2 8' HT PRECAST CONCRETE WALL  
DETAIL



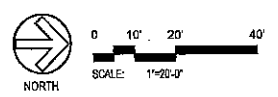
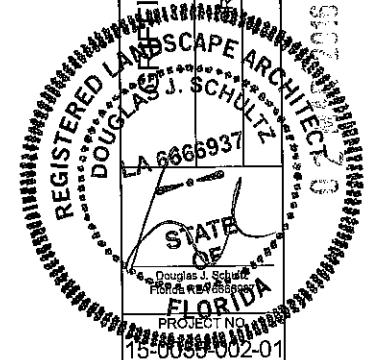
3 DUMPSTER ENCLOSURE  
DETAIL

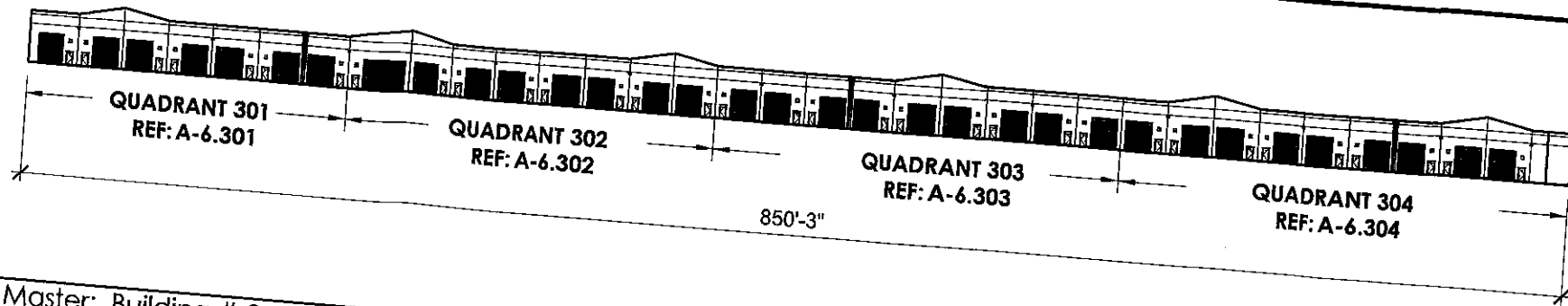


DATE:	11-24-15	DESIGNED BY:	MJD	CHECKED BY:	DJS	APPROVED BY:	DJS
SCALE:	1"=20'	DRAWN BY:	MJD	DATE:			
1. REVISIONS PER FIRE COMMENTS 2. REVISIONS PER FIRE COMMENTS 3. REVISIONS PER FIRE COMMENTS							

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FLORIDA LICENSED PROFESSIONAL SURVEYOR & PLANNING BUSINESS NO. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 00000001  
15-0055-SP-2

COMMERCIAL CENTER  
DANIA BEACH, FLORIDA  
PREPARED FOR:  
TRIFFIN COMMERCIAL CENTER, LLC  
SITE PLAN

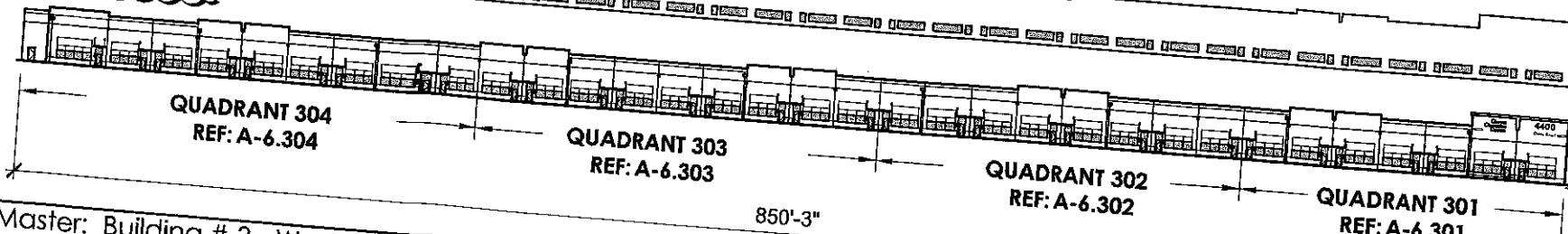




Master: Building # 3, East Elevation Key Plan:  
 PROPOSED FRONTAGE PRIMARY ELEVATION AREA = 24,338 SF  
 GLAZING REQ. 24,338 X 25%  
 GLAZING AREA PROVIDED = 6,085 SF [25% SEC. 511-30 APPEARANCE (I)]  
 REQUESTING VARIANCE FOR NON COMPLAINT GLAZING PERCENTAGE REQUIREMENT = 2,450 SF [10%]

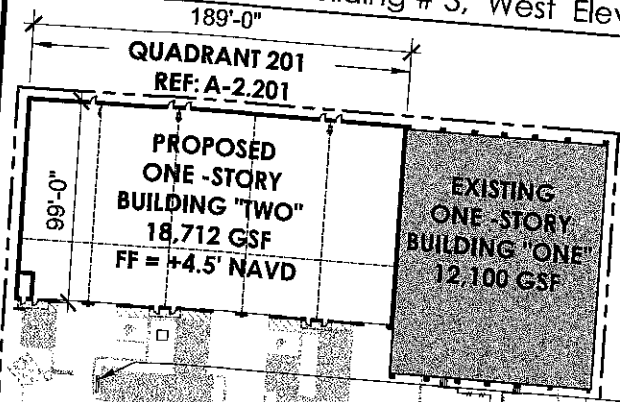
Scale: 1"=40'-0" 06

GLAZING CALCULATION



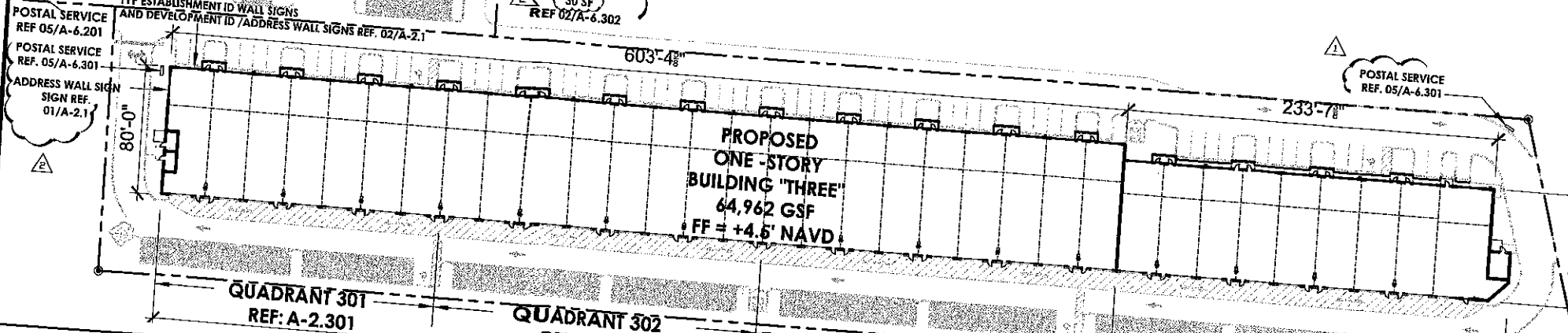
Master: Building # 3, West Elevation Key Plan:

Scale: 1"=40'-0" 05



LOCATION OF MONUMENT SIGN  
 8' W X 5'3" H  
 30 SF  
 REF: 02/A-6.302

TYPICAL BUILDING ESTABLISHMENT IDENTIFICATION SIGN TO BE INTERNALLY ILLUMINATED CHANNEL LETTERS WITH FLUSH MOUNTED RACEWAY. ESTABLISHMENT SIGN LENGTH = 25' X 15" = 25 SF. ALLOWED. 1-4" HIGH LETTERS X 14" LONG SIGN = 24 SF PROPOSED.  
 NOTE: DASHED RECTANGLE INDICATED AROUND TEXT INDICATES LIMITS OF SIGN AREA. DASHED RECTANGLE IS NOT PART OF THE WALL SIGNS.

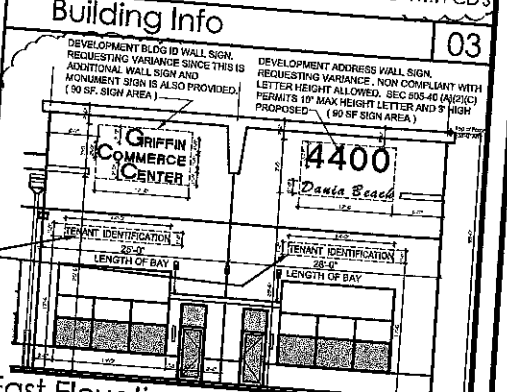


Scale: 1"=40'-0" 04

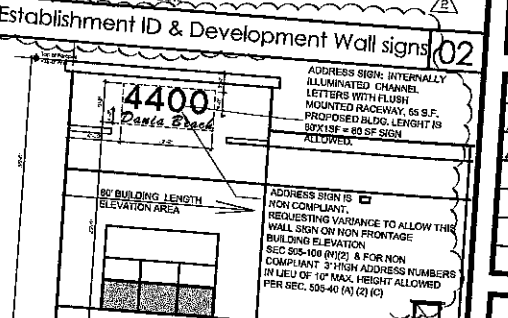
PROJECT OCCUPANCY / USE:  
 F.B.C. Mixed Use 304.1 Business Group B & Moderate - Hazard Storage Group 5-1  
 NFPA 8.1.14.2 (1) Mixed Use Occupancy  
 BUILDING CONSTRUCTION TYPE: TYPE 'III-B'  
 NUMBER OF STORIES: ONE STORY  
 BUILDING '1': EXISTING 12,100 SF  
 BUILDING '2': PROPOSED 18,712 SF  
 BUILDING '3': PROPOSED 64,962 SF  
 TOTAL: 95,774 SF

LARGEST BUILDING AREA (BUILDING 3): 64,962 S.F.  
 PROJECT OCCUPANCY / USE: FBC TABLE 503  
 THE PROJECT IS NEW CONSTRUCTION FOR A ONE STORY BASED ON CONCRETE TYPICAL CONSTRUCTION WITH OUTDOOR BUILDOUT  
 ALLOWABLE BUILDING AREA INCREASE DUE TO STREET FRONTAGE & FIRE SPRINKLERS FBC SEC. 506.1

FIRE SPRINKLERS TO BE PROVIDED AND DESIGNED PER NFPA 13. SHOP DRAWINGS WILL BE PROVIDED WITH CD'S

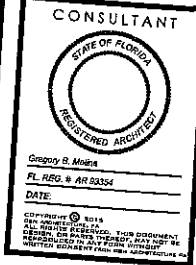


East Elevation  
 TYPICAL ESTABLISHMENT IDENTIFICATION SIGNS ARE COMPLIANT WITH SEC. 506-100(1) (2) EACH IN-LINE MAXIMUM AREA OF ONE (1) SQUARE FOOT FOR EACH ONE (1) WALL SIGN PER BUILDING FRONTAGE WITH A COMBINED ONE HUNDRED (100) SQUARE FEET OF TOTAL SIGNAGE.  
 01) LED RACEWAY MOUNTED CHANNEL LETTERS - ALUMINUM WITH ACRYLIC FACES  
 02) CHANNEL LETTERS COLOR: MATTHEWS SCARLET RED  
 03) TRIM CAPS AND RETAINERS ARE RED  
 04) ILLUMINATED WITH LED LIGHT CLEAR RED  
 05) LETTERS ARE FLUSH MOUNTED TO SURFACE MOUNTED RACEWAY  
 06) RACEWAY PAINT FINISH TO MATCH BUILDING COLOR  
 07) LETTER SIZE PER DIMENSIONS ABOVE



South Elevation  
 SIGNAGE SPECIFICATION:  
 01) LED RACEWAY MOUNTED CHANNEL LETTERS - ALUMINUM WITH ACRYLIC FACES  
 02) CHANNEL LETTERS COLOR: MATTHEWS SCARLET RED  
 03) TRIM CAPS AND RETAINERS ARE RED  
 04) ILLUMINATED WITH LED LIGHT CLEAR RED  
 05) LETTERS ARE FLUSH MOUNTED TO SURFACE MOUNTED RACEWAY  
 06) RACEWAY PAINT FINISH TO MATCH BUILDING COLOR

Dev. Address Wall Sign on Non Frontage 01



2801 SW 3RD AVENUE, SUITE 700  
 FORT LAUDERDALE, FLORIDA 33310  
 T: 954.713.6101  
 F: 954.812.5690  
 E: GRIFFIN@GRIFFINCOMMERCECENTER.COM  
 WWW.GRIFFINCOMMERCECENTER.COM

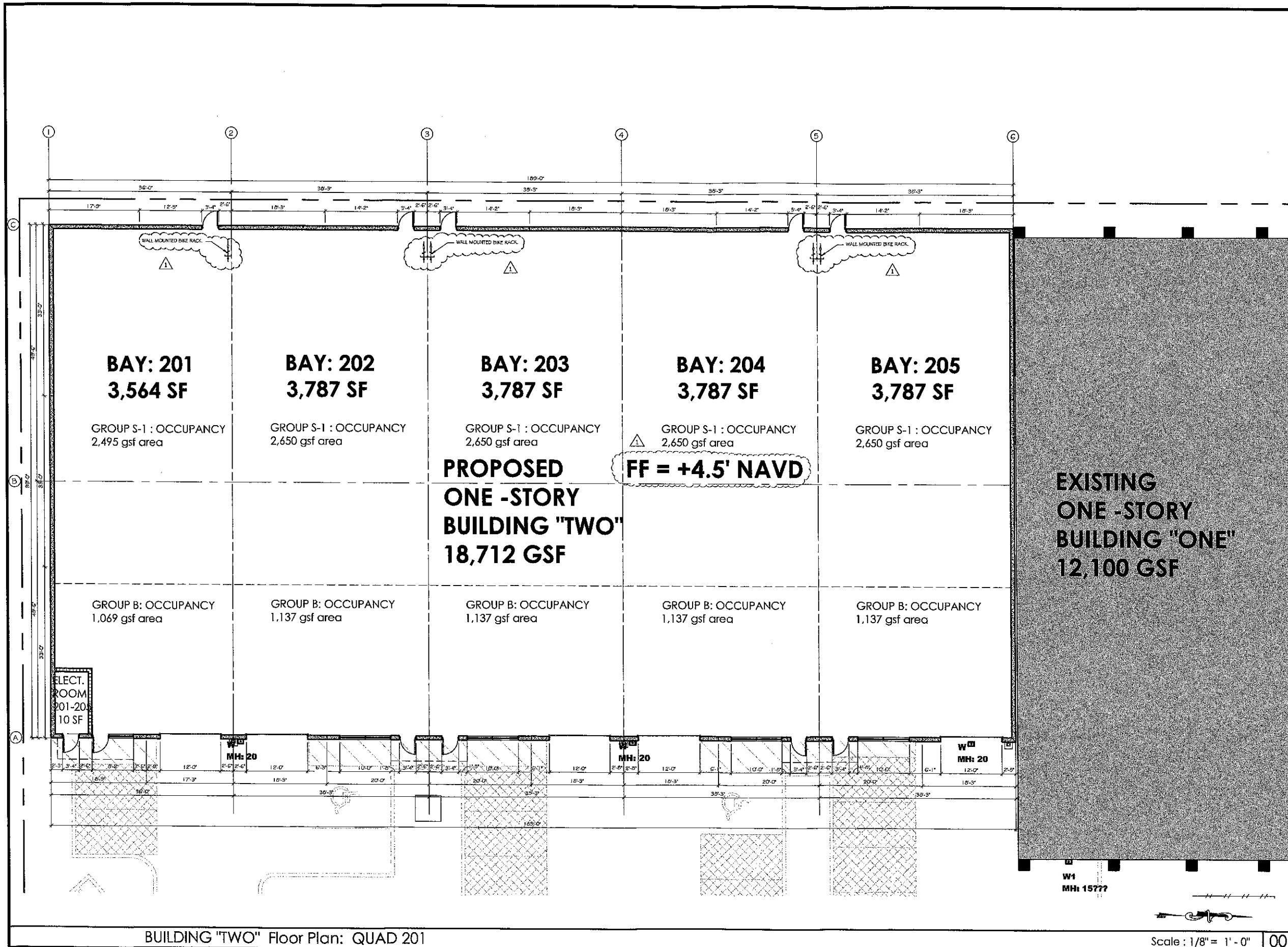
GRIFFIN COMMERCE CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:

01-07-16 DRC RESPONSES
02-04-16 DRC RESPONSES

MASTER PLAN & SIGNAGE BLDG'S. 1, 2 & 3

SHEET  
 A-2.1  
 PROJECT 151109  
 DRC DATE 11-29-15  
 DRC CASE NO.



CONSULTANT  
 STATE OF FLORIDA  
 REGISTERED ARCHITECT  
 Gregory B. Albee  
 FL. REG. # AR 02354  
 DATE: \_\_\_\_\_  
 EXP. DATE: 2015  
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 GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:  
 01-07-16 IRC RESPONSES

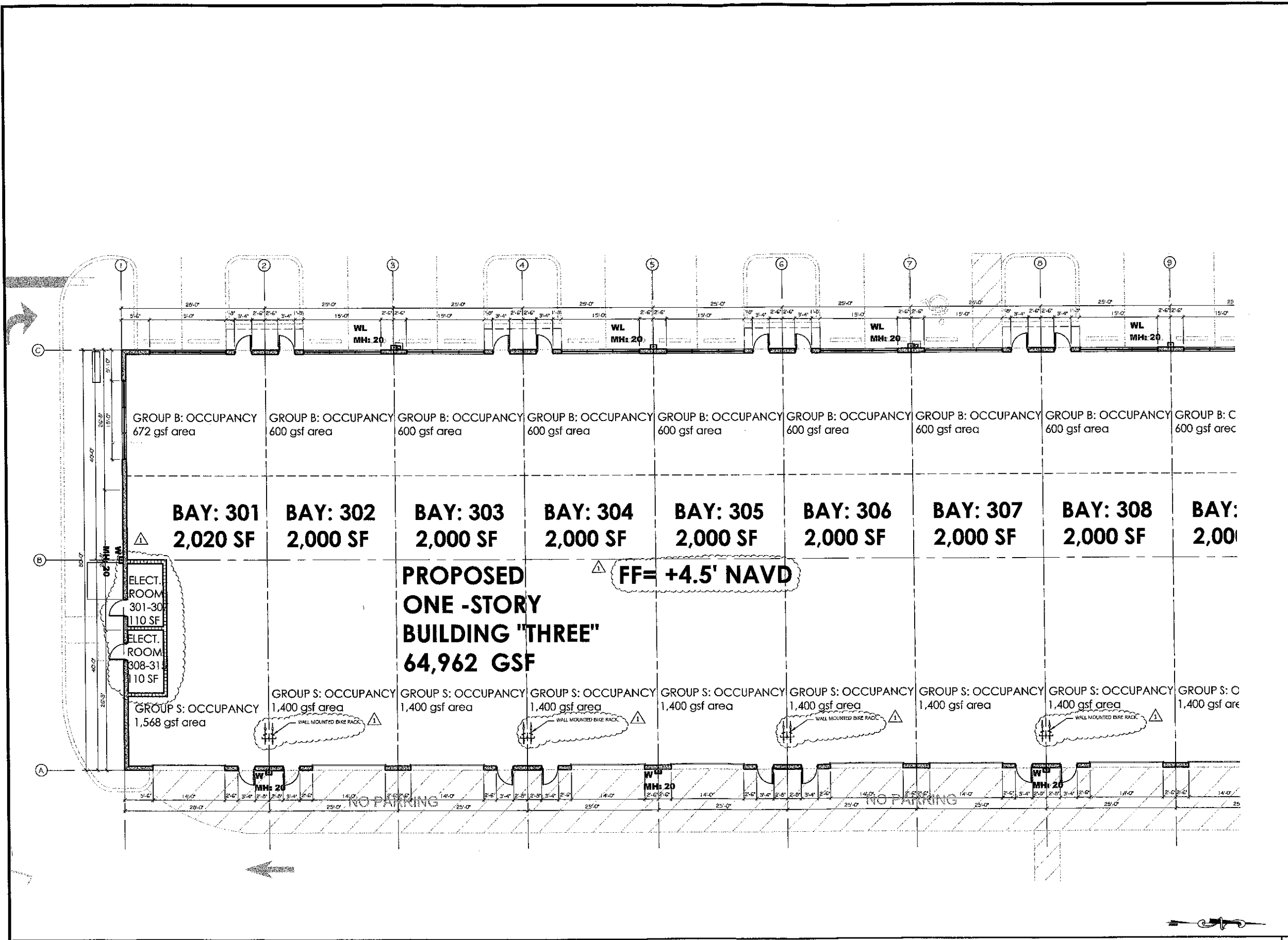
FLOOR PLANS  
 BLDG. TWO  
 BAYS 201-205

SHEET  
**A-2.201**  
 PROJECT: 151109  
 DRC DATE: 11-25-15  
 DRC CASE NO. \_\_\_\_\_

BUILDING "TWO" Floor Plan: QUAD 201

Scale: 1/8" = 1'-0" 00

2-10-16



BUILDING "THREE" Floor Plan: QUAD 301

Scale: 1/8" = 1'-0" 00

CONSULTANT

Gregory B. Moore  
FL REG. # AR 92354  
DATE: \_\_\_\_\_  
ED: \_\_\_\_\_

**GBM**  
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DRAWING ISSUE DATES:

01-07-16 DRC RESPONSES

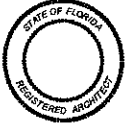
FLOOR PLANS  
BLDG THREE  
BAYS 301-308

SHEET  
**A-2.301**  
PROJECT 151109  
DRC DATE 11-23-15  
DRC CASE NO. \_\_\_\_\_

2-10-16



CONSULTANT



Gregory B. Miller  
FL REG. # AR 8334  
DATE:

**GBM**

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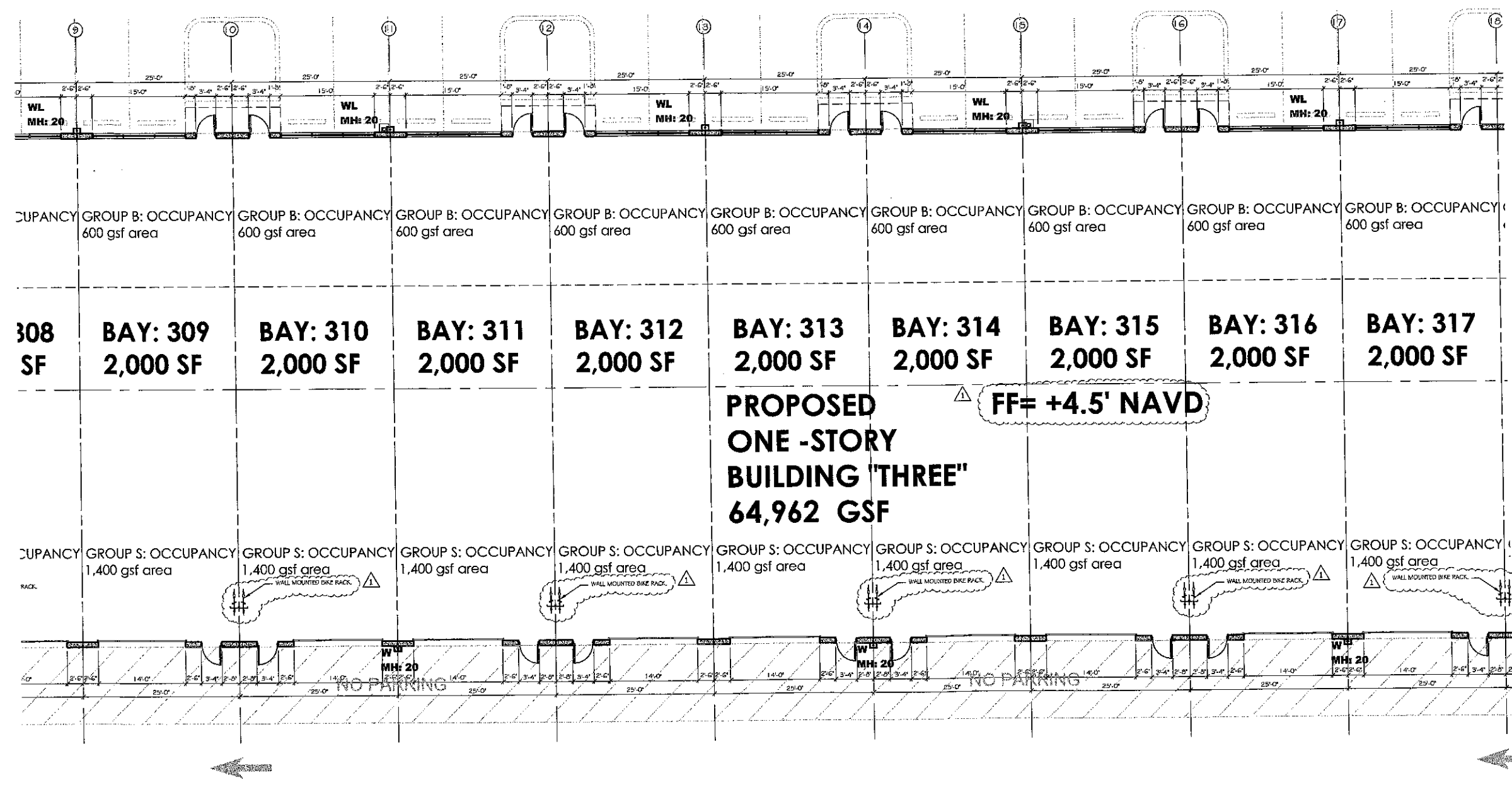
**GRIFFIN COMMERCE CENTER**  
DANIA BEACH, FLORIDA  
PREPARED FOR:  
**GRIFFIN COMMERCE CENTER, LLC**

DRAWING ISSUE DATES:

01-07-16	ORC RESPONSES

FLOOR PLANS  
BLDG THREE  
BAYS 309-316

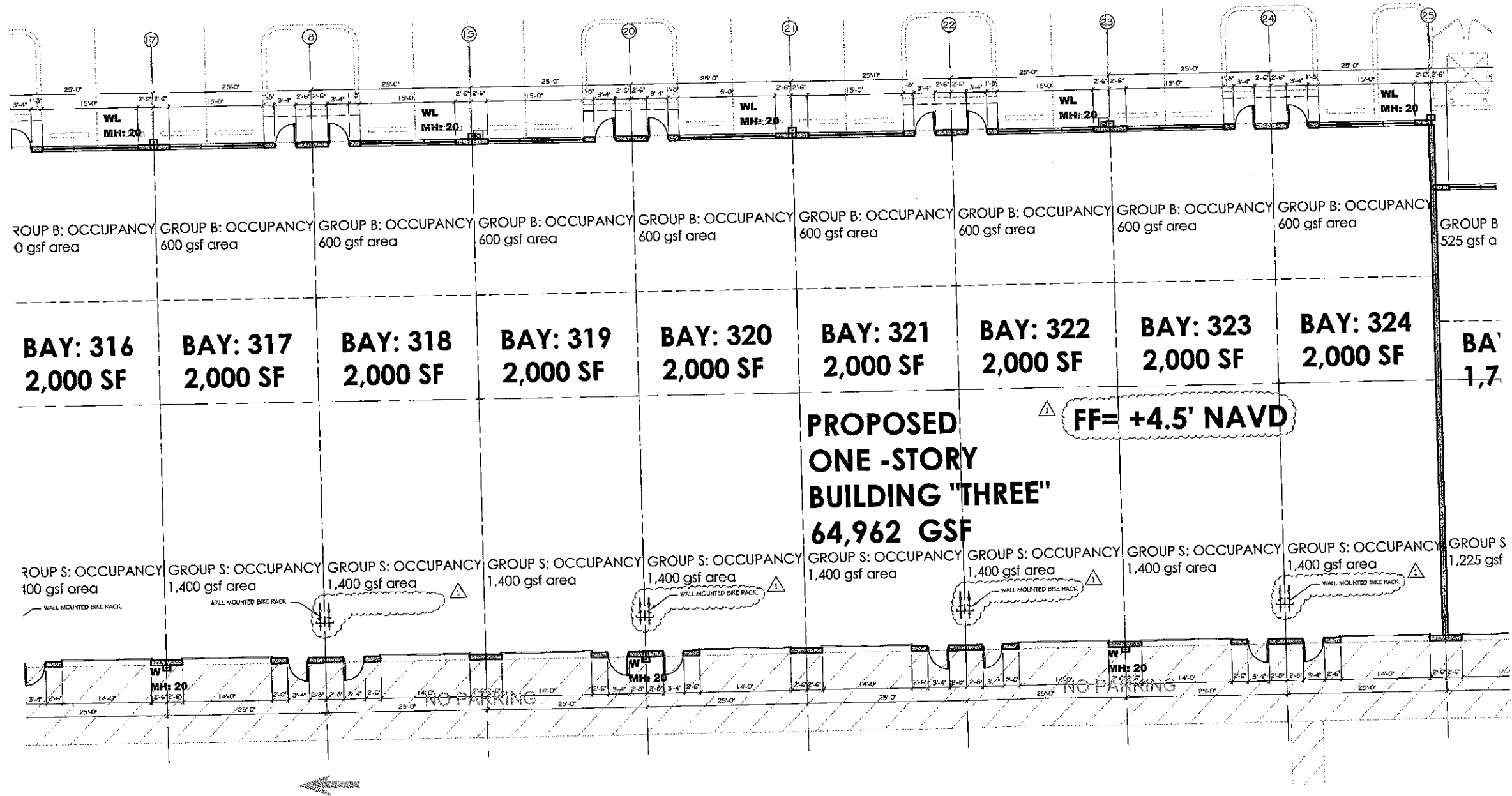
SHEET  
**A- 2.302**  
PROJECT 151109  
ORC DATE 11-25-15  
ORC CASE NO.



BUILDING "THREE" Floor Plan: QUAD 302

Scale: 1/8" = 1'-0" 00

2-10-16



CONSULTANT  
 STATE OF FLORIDA  
 REGISTERED ARCHITECT  
 Gregory B. Miller  
 FL. REG. # AN 93297  
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GRIFFIN COMMERCE CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:  
 01-07-16 DRG. RESPONSES

FLOOR PLANS  
 BLDG THREE  
 BAYS 317-324

SHEET  
**A-2.303**  
 PROJECT 151109  
 DRG DATE 11-25-15  
 DRG CASE NO.

BUILDING "THREE" Floor Plan: QUAD 303

Scale: 1/8" = 1'-0" 00

2-10-16

CONSULTANT

STATE OF FLORIDA  
REGISTERED ARCHITECT

Gregory B. Moore  
FL REG. # AR 63394  
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1 954.713.6101  
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www.cbmarchitect.com

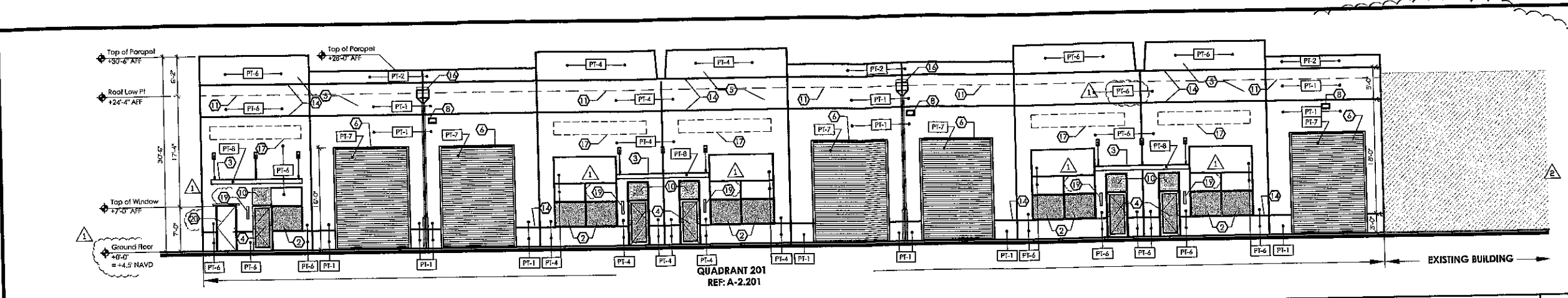
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DANIA BEACH, FLORIDA  
PREPARED FOR:  
GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:

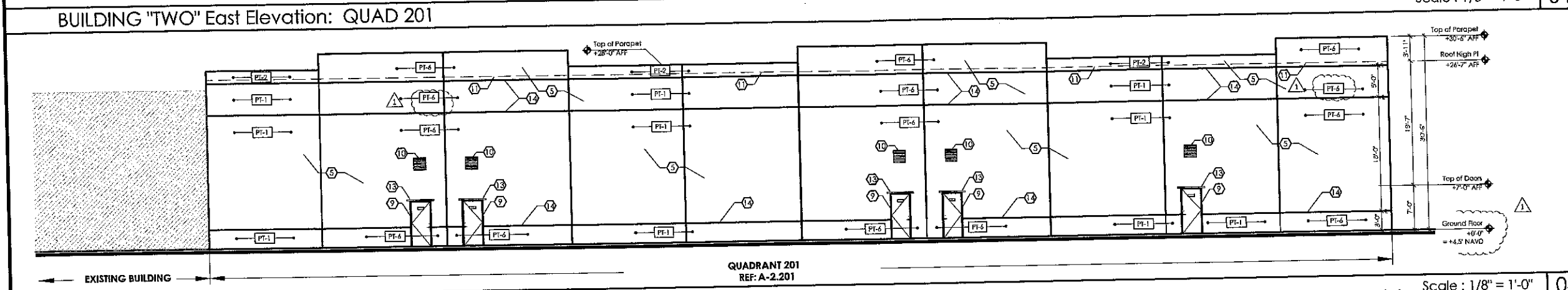
01-07-16	DRC RESPONSES
02-04-16	DRC RESPONSES

ELEVATIONS  
BLDG. 2

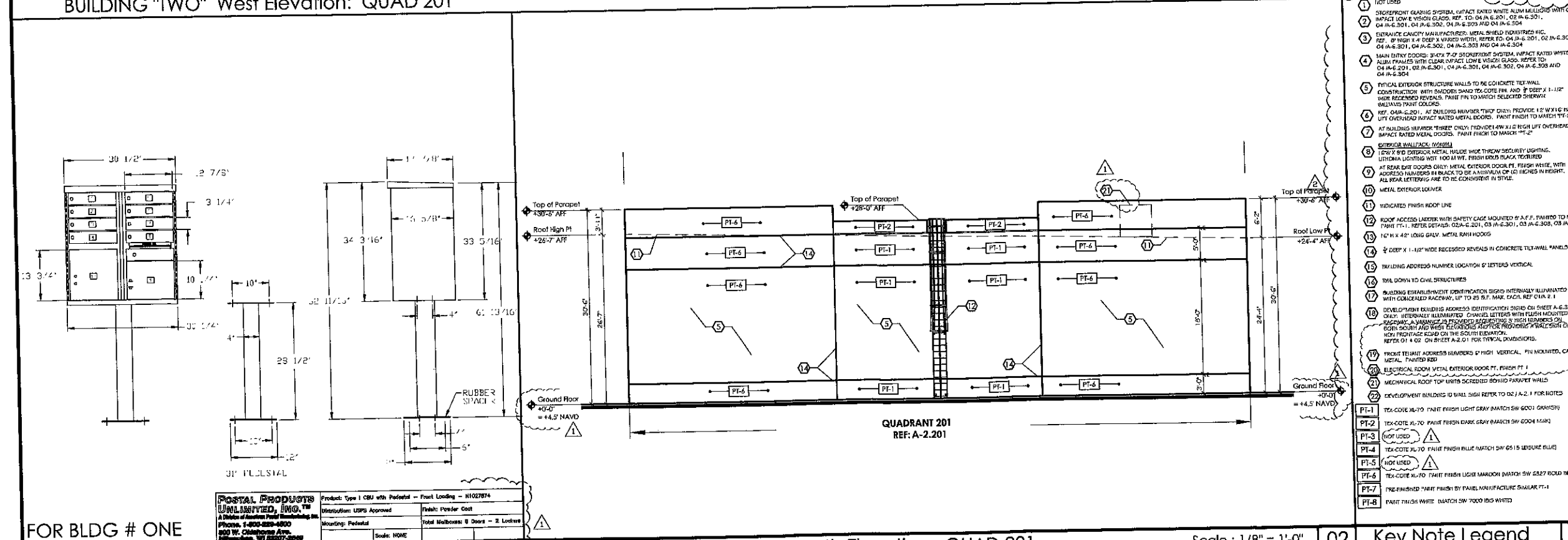
SHEET  
A-6.201  
PROJECT 151109  
DRC DATE 11-25-15  
DRC CASE NO.



Scale: 1/8" = 1'-0" 04



Scale: 1/8" = 1'-0" 03



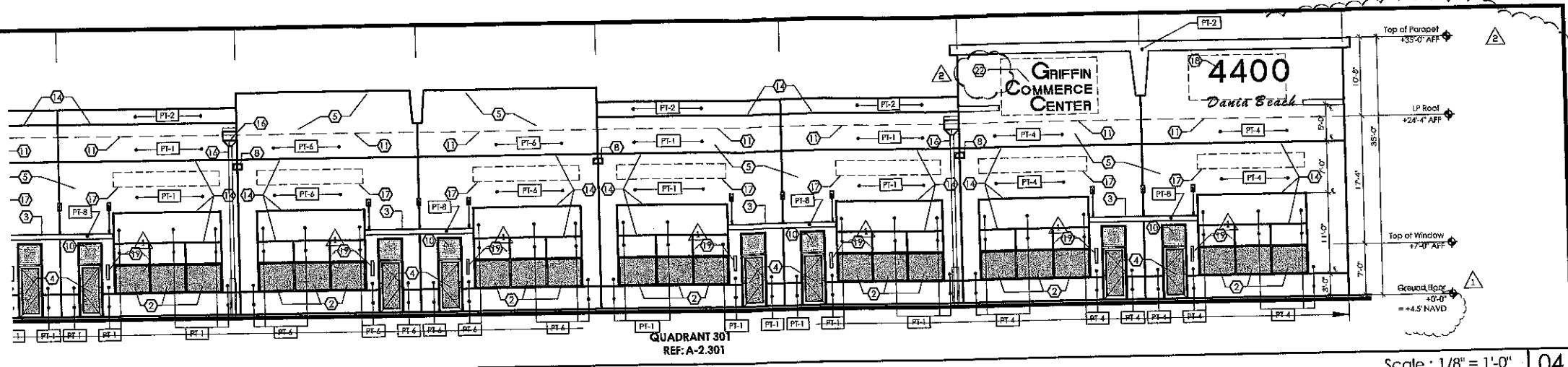
Scale: 1/8" = 1'-0" 02

- NOT USED
- STOREFRONT GLAZING SYSTEM, IMPACT RATED WHITE ALUM MULLIONS WITH CLEAR IMPACT LOW E VISION GLASS. REF: TO: 04 JA 6.201, 02 JA 6.201, 04 JA 6.201, 04 JA 6.202, 04 JA 6.203 AND 04 JA 6.204
  - ENTRANCE CANOPY MANUFACTURER: METAL SHIELD INDUSTRIES INC. (22' x 8' HIGH x 4' DEEP x VARIOUS WIDTH). REFER TO: 04 JA 6.201, 02 JA 6.201, 04 JA 6.201, 04 JA 6.202, 04 JA 6.203 AND 04 JA 6.204
  - MAIN ENTRY DOORS: 31/2" x 7'-0" STOREFRONT SYSTEM, IMPACT RATED WHITE ALUM FRAMES WITH CLEAR IMPACT LOW E VISION GLASS. REFER TO: 04 JA 6.201, 02 JA 6.201, 04 JA 6.201, 04 JA 6.202, 04 JA 6.203 AND 04 JA 6.204
  - PHYSICAL EXTERIOR STRUCTURE WALLS TO BE CONCRETE TILT-WALL CONSTRUCTION WITH SMOOTH SAND TEX-COTE FIN. AND 3/8" DEEP x 1-1/2" HIGH RECESSED REVEALS. PAINT FIN TO MATCH SELECTED EXTERIOR MULLIONS PAINT COLORS.
  - REF: 04A-6.201. AT BUILDING NUMBER TWO ONLY PROVIDE 10' MIN HIGH LIFT OVERHEAD IMPACT WATER METAL DOORS. PAINT FINISH TO MATCH 'PT-2'
  - AT BUILDING NUMBER THREE ONLY PROVIDE 14' x 8' HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH 'PT-2'
  - EXTERIOR WALL/JACK (W/JACK)
  - 10' x 10' EXTERIOR METAL HOUSE W/RE THRU-GUARD SECURITY LIGHTING. LIGHTING LIGHTING NOT 100% W/WT. FINISH COLOR BLACK TEXTURED
  - AT REAR EXIT DOORS ONLY: METAL EXTERIOR DOOR FT. FINISH WHITE, WITH ADDRESS NUMBERS IN BLACK TO BE A MINIMUM OF 60" HIGH IN HEIGHT. ALL REAR LETTERING ARE TO BE CONSISTENT IN STYLE.
  - METAL EXTERIOR SLUICER
  - INDICATED FINISH ROOF LINE
  - ROOF ACCESS LADDER WITH SAFETY CAGE MOUNTED 8' A.F.F. FINISH TO MATCH PAINT 'PT-1'. REFER DETAILS: 02A-6.201, 03 JA 6.201, 03 JA 6.203, 03 JA 6.204
  - 14" x 42" LONG GALV. METAL RAIN HOODS
  - 3/8" DEEP x 1-1/2" WIDE RECESSED REVEALS IN CONCRETE TILT-WALL PANELS
  - BUILDING ADDRESS NUMBER LOCATION 8' LETTERS VERTICAL
  - RVL DOWN TO CIVIL STRUCTURES
  - BUILDING ESTABLISHMENT IDENTIFICATION SIGNS INTERNALLY ILLUMINATED WITH CONCEALED RACORAN, UP TO 25 S.F. MARK SIZE: REFER TO 2.1
  - DEVELOPMENT BUILDING ADDRESS IDENTIFICATION SIGNS ON SHEET A-6.201 ONLY. INTERNALLY ILLUMINATED. CHANGED LETTERS WITH FLUSH MOUNTED RACORAN. A VARIETY OF PROFILES INCLUDING 3" HIGH NUMBERS ON BOTH SOUTH AND WEST ELEVATIONS. ADDRESS PROFILES: RACORAN OUT HIGH FRONTAGE ROAD ON THE SOUTH ELEVATION. REFER TO 4.02 ON SHEET A-6.201 FOR PHYSICAL DIMENSIONS.
  - FRONT TRIM ADDRESS NUMBERS 6" HIGH VERTICAL. FIN MOUNTED, CASE METAL. FINISH TO BE
  - ELECTRICAL ROOM VERTICAL EXTERIOR DOOR FT. FINISH PT-1
  - MECHANICAL ROOF TOP UNITS SCREENED 30/10 PAVEMENT WALLS
  - DEVELOPMENT BUILDING 10 WALL SIGN REFER TO 02 JA 2.1 FOR NOTES
  - TEX-COTE XL-70 PAINT FINISH LIGHT GRAY MATCH SW 6001 GRAYISH
  - TEX-COTE XL-70 PAINT FINISH DARK GRAY MATCH SW 6004 MARSH
  - NOT USED
  - TEX-COTE XL-70 PAINT FINISH BLUE MATCH SW 6515 MEDIUM BLUE
  - NOT USED
  - TEX-COTE XL-70 PAINT FINISH LIGHT MARRON MATCH SW 5327 BOLD BRICK
  - PRE-FINISHED PAINT FINISH BY PANEL MANUFACTURE SIMILAR PT-1
  - PAINT FINISH WHITE. MATCH SW 7000 ISS WHITE

FOR BLDG # ONE  
US POSTAL SERVICE 8 CLUSTER BOX UNIT. 1 Location 05

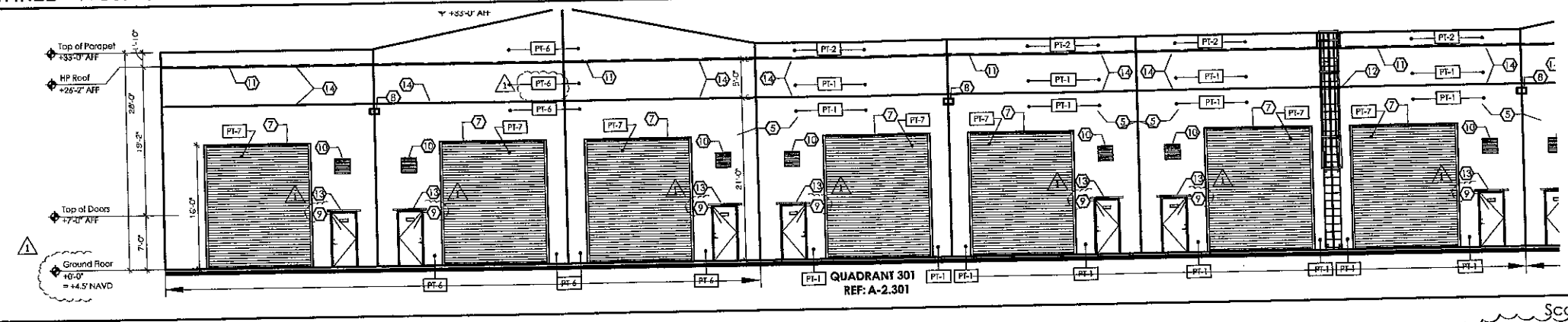
POSTAL PRODUCTS UNLIMITED, INC.  
A Division of American Postal Manufacturing Inc.  
Phone: 1-800-488-4800  
800 W. Chisholm Ave.  
Sheboygan, WI 53087-2006

Product: Type 1 CBU with Pedestal - Front Loading - H1027874  
Distribution: USPS Approved  
Finish: Powder Coat  
Mounting: Pedestal  
Scale: NONE



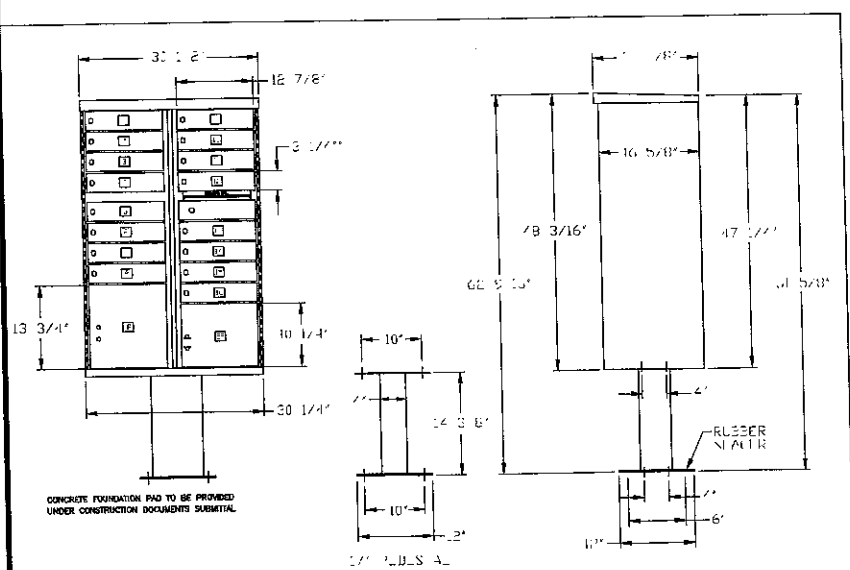
BUILDING "THREE" West Elevation: QUAD 301

Scale: 1/8" = 1'-0" 04



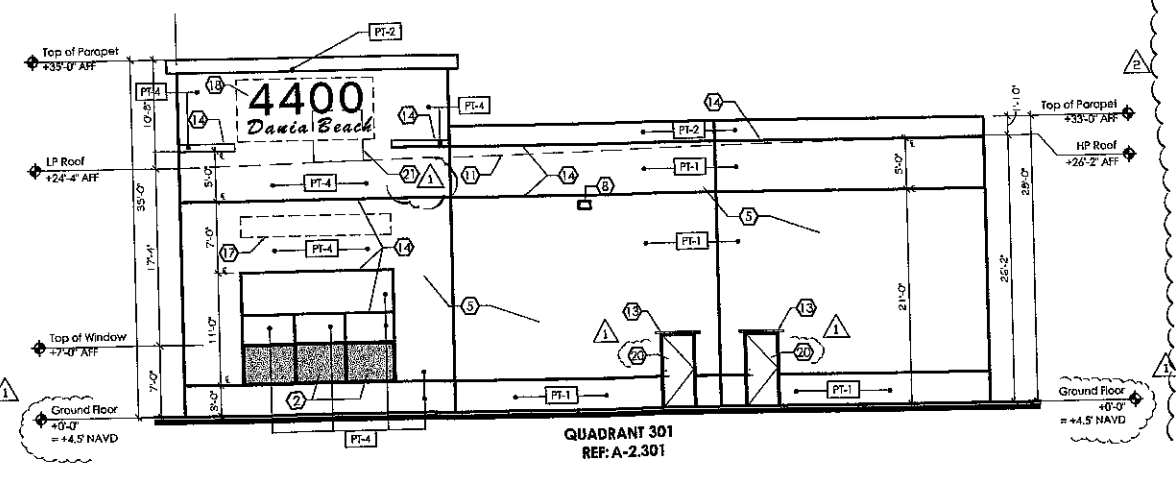
BUILDING "THREE" East Elevation: QUAD 301

Scale: 1/8" = 1'-0" 03



FOR BLDG # THREE  
US POSTAL SERVICE 16 CLUSTER BOX UNIT (2 LOCATIONS) 05

**POSTAL PRODUCTS UNLIMITED, INC.**  
Product: Type II CBU with Pedestal - Front Loading - H102/976  
Distribution: USPS Approved  
Mounting: Pedestal  
Scale: NONE  
Drawn By: ODO  
Checked By: AHC



BUILDING "THREE" South Elevation: QUAD 301

Scale: 1/8" = 1'-0" 02

- Key Note Legend**
- 1 NOT USED
  - 2 SHORHPROOF GLAZING SYSTEM, IMPACT RATED WHITE ALUM MULLIONS WITH CLEAR IMPACT LOW E WINDOW GLASS. REF. TO 04-A-6.301, 02-A-6.301, 04-A-6.301, 04-A-6.302, 04-A-6.303 AND 04-A-6.304
  - 3 ENTRANCE CANOPY MANUFACTURERS METAL SHIELD INDUSTRIES INC. REF. 2" HIGH X 4" DEEP X WINDO WIDTH. REFER TO 04-A-6.201, 02-A-6.301, 04-A-6.301, 04-A-6.302, 04-A-6.303 AND 04-A-6.304
  - 4 MAIN ENTRY DOORS: 8'-0" X 7'-0" SHORHPROOF SYSTEM, IMPACT RATED WHITE ALUM FRAMES WITH CLEAR IMPACT LOW E WINDOW GLASS. REFER TO 04-A-6.201, 02-A-6.301, 04-A-6.301, 04-A-6.302, 04-A-6.303 AND 04-A-6.304
  - 5 TYPICAL EXTERIOR STRUCTURE WALLS TO BE CONCRETE TEIF-WALL CONSTRUCTION WITH SMOOTH SAND TEX COE FIN. AND 2" DEEP X 1-1/2" WIDE RECESSED REVEALS. PAINT FIN TO MATCH SELECTED SPOKAW WILLIAMS PAINT COLORS.
  - 6 REF. 04-A-6.201. AT BUILDING NUMBER THREE ONLY: PROVIDE 12" W X 10" HIGH UPV OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH PT-2
  - 7 AT BUILDING NUMBER THREE ONLY: PROVIDE 14" W X 10" HIGH UPV OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH PT-2
  - 8 EXTERIOR WALL PACK: FINISH
  - 9 12" X 9" EXTERIOR METAL HANDLE WIDE THROW SECURITY LIGHTING. LITHONIA LIGHTING WST 100 M W/ FINISH: BOLD BLACK TEXTURED
  - 10 AT REAR BAY DOORS ONLY: METAL EXTERIOR DOOR FL. FINISH WHITE, WITH ADDRESS NUMBERS IN BLACK TO BE A MINIMUM OF 60 INCHES IN HEIGHT. ALL REAR LETTERING ARE TO BE CONSISTENT IN STYLE.
  - 11 METAL EXTERIOR LEAFER
  - 12 INDICATES FINISH ROOF USE
  - 13 ROOF ACCESS LADDERS WITH SAFETY CADE MOUNTED @ A.F.F. PAINTED TO MATCH PAINT PT-1. REFER DETAILS: 02-A-6.201, 03-A-6.301, 03-A-6.302, 03-A-6.304
  - 14 10" X 42" LONG GALV. METAL RAIN HOODS
  - 15 2" DEEP X 1-1/2" WIDE RECESSED REVEALS IN CONCRETE TEIF-WALL PANELS
  - 16 BRANDING ADDRESS NUMBER LOCATION & LETTERS VERTICAL
  - 17 RYA DOWN TO CIVIL STRUCTURES
  - 18 BUILDING ESTABLISHMENT IDENTIFICATION SIGNS INTERNALLY ILLUMINATED WITH COORDINATE RACEWAY, 1" TO 2.5" DIA. MAX. EACH. REF 01-A-2.1
  - 19 DEVELOPMENT BUILDING ADDRESS IDENTIFICATION SIGNS ON SHEET A-6.301 ONLY. INTERNALLY ILLUMINATED. CHANGING LETTERS WITH FLUSH MOUNTED BACKVIEW. A VARIANCE IS PROVIDED REGARDING 3" HIGH NUMBERS ON BOTH SOUTH AND WEST ELEVATIONS AND FOR PROVIDING A WALL SIGN ON EACH FRONTAGE CORNER ON THE SOUTH ELEVATION. REFER TO 01-A-2.01 FOR TYPICAL DIMENSIONS.
  - 20 FRONT TENANT ADDRESS NUMBERS @ HIGH VERTICAL. PRE-MOUNTED, CAST METAL. PAINTED RED
  - 21 ELECTRICAL ROOM METAL EXTERIOR DOOR FT. FINISH PT-1
  - 22 MECHANICAL ROOF TOP UNITS SCREENED BEHIND PARAPET WALLS
  - 23 DEVELOPMENT BUILDING ID WALL SIGN REFER TO 02-A-2.1 FOR NOTES
  - PT-1 TEX-COTE AL-70 PAINT FINISH LIGHT GRAY MATCH SW 6007 GRAYISH
  - PT-2 TEX-COTE AL-70 PAINT FINISH DARK GRAY MATCH SW 6004 MINK
  - PT-3 NOT USED
  - PT-4 TEX-COTE AL-70 PAINT FINISH BLUE GRAY MATCH SW 6515 LESURE TRULY
  - PT-5 NOT USED
  - PT-6 TEX-COTE AL-70 PAINT FINISH LIGHT HAZARDON MATCH SW 6527 BOLD BROOK
  - PT-7 PRE-FINISHED PAINT FINISH BY PANEL MANUFACTURE SIMILAR PT-1
  - PT-8 PAINT FINISH WHITE. MATCH SW 7000 BWS WHITE

Scale: 1/8" = 1'-0" 01

**CONSULTANT**

STATE OF FLORIDA  
REGISTERED ARCHITECT

Gregory B. Moore  
FL REG. # AH 9358

DATE:

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**GRIFFIN COMMERCE CENTER**  
DANIA BEACH, FLORIDA

PREPARED FOR:  
**GRIFFIN COMMERCE CENTER, LLC**

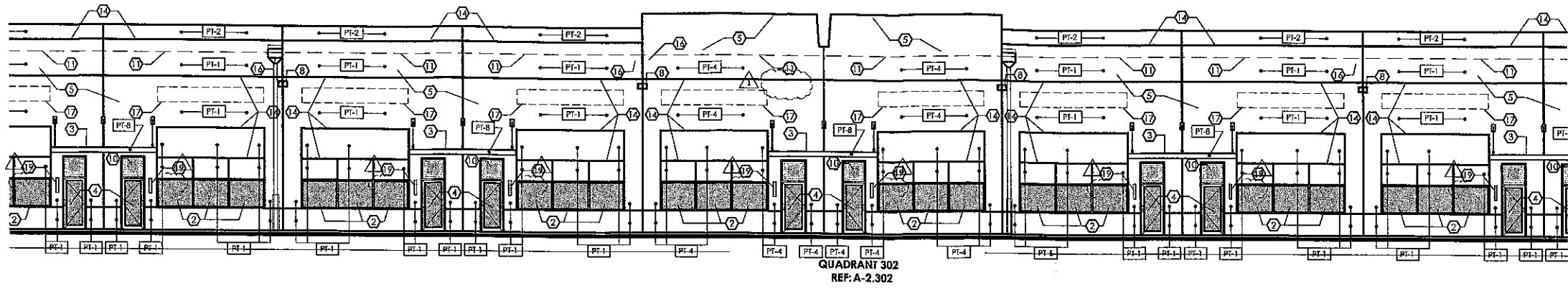
**DRAWING ISSUE DATES:**

01-07-16	DRC RESPONSES
01-26-16	DRC #2 RESPONSE

**ELEVATIONS**  
BLDG. 3 QUAD 301

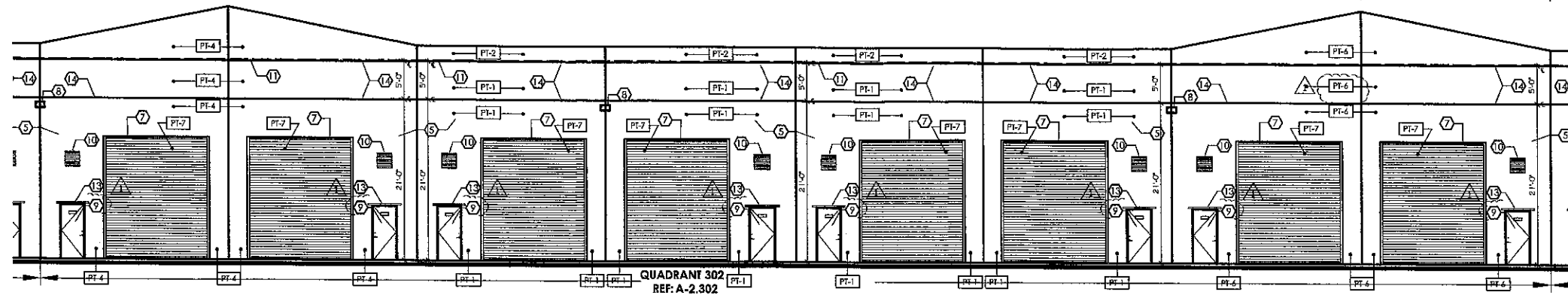
**SHEET**  
A- 6.301

PROJECT 151109  
DRC DATE 11-23-15  
DRC CASE NO.



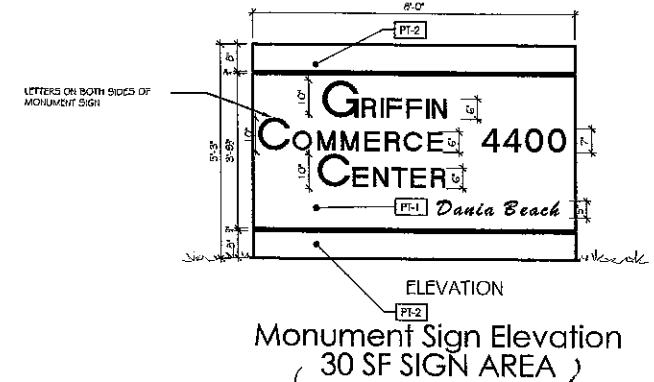
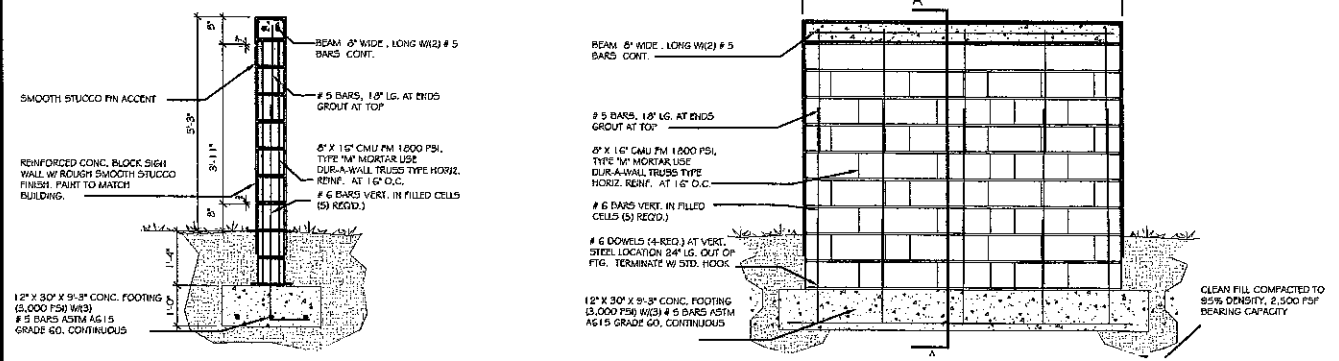
BUILDING "THREE" West Elevation: QUAD 302

Scale: 1/8" = 1'-0" 04



BUILDING "THREE" East Elevation: QUAD 302

Scale: 1/8" = 1'-0" 03



- 1) NOT USED
- 2) STOREFRONT GLASS SYSTEM, IMPACT RATED WHITE ALUM. MULLIONS WITH CLEAR IMPACT LOW E VISION GLASS. REF: 04 A-6.301, 02 A-6.301, 04 A-6.301, 04 A-6.302, 04 A-6.303 AND 04 A-6.304
- 3) STORAGE CLOSET MANUFACTURER: METAL SHIELD INDUSTRIES INC. REF: 02 A-6.301, 04 A-6.302, 04 A-6.303 AND 04 A-6.304
- 4) MAIN ENTRY DOORS: 2'-0" 7'-0" STOREFRONT SYSTEM, IMPACT RATED WHITE ALUM. FRAMES WITH CLEAR IMPACT LOW E VISION GLASS. REF: 04 A-6.301, 02 A-6.301, 04 A-6.301, 04 A-6.302, 04 A-6.303 AND 04 A-6.304
- 5) TYPICAL EXTERIOR STRUCTURE WALLS TO BE CONCRETE TIE-HALL CONSTRUCTION WITH SMOOTH SAND EST-COTE FIN. AND 3/8" DEEP X 1-1/2" WIDE RECESSED REVEALS. PAINT FIN TO MATCH SELECTED OTHER WALLS PAINT COLORS.
- 6) REF: 04 A-6.301. AT BUILDING NUMBER TWO ONLY PROVIDE 12" W X 6" HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH PT-2
- 7) AT EXISTING NUMBER THREE ONLY PROVIDE 12" W X 6" HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH PT-2
- 8) EXTERIOR WALLSPACE (WALLS)
- 9) 12" W X 6" EXTERIOR METAL HAND WIDE THRU SECURITY LIGHTING. LIGHTING FIXTURES 100 W W/ FRESH GRAY BLACK TEXTURED AT REAR END SIDING ONLY. METAL EXTERIOR DOOR FINISH WHITE, WITH ADDRESS NUMBERS IN BLACK TO BE A MINIMUM OF 6" HIGH IN HEIGHT. ALL REAR LETTERING ARE TO BE CONSISTENT IN STYLE.
- 10) METAL EXTERIOR VOLUME
- 11) INDICATES FINISH ROOF LINE
- 12) ROOF ACCESS LADDER WITH SAFETY CAGE MOUNTED @ A.P.F. PAINTED TO MATCH PAINT PT-1. REFER DETAILS: 02A-6.301, 03 A-6.301, 03 A-6.305, 03 A-6.304
- 13) 16" H X 42" LONG GALV. METAL RAIN HOODS
- 14) 3/8" DEEP X 1-1/2" WIDE RECESSED REVEALS IN CONCRETE TIE-WALL W/RELS
- 15) BUILDING ADDRESS NUMBER LOCATION & LETTERS VERTICAL
- 16) RAIL DOWN TO CIVIL STRUCTURES
- 17) BUILDING ESTABLISHMENT IDENTIFICATION SIGN- INTERNALLY ILLUMINATED WITH COLORED RACEWAY, UP TO 25 S.F. MAX. CATCH REF 01A-2.1
- 18) DEVELOPMENT BUILDING ADDRESS IDENTIFICATION SIGNS ON SHEET A-6.301 ONLY. INTERNALLY ILLUMINATED CHANNEL LETTERS WITH FLUSH MOUNTED RACEWAY. A MINIMUM OF 3" PROVIDES RECESSED 3" HIGH NUMBER ON BOTH SOUTH AND WEST ELEVATIONS AND FOR PROVIDING A WALL SIGN ON BOTH ELEVATIONS ON THE SOUTH ELEVATION. REFER 01 & 02 ON SHEET A-2.01 FOR TYPICAL DIMENSIONS.
- 19) FINISH AT EXISTING ADDRESS NUMBERS @ HIGH ARCHITECTURAL QUALITY-GRADE METAL, PAINTED RED
- 20) ELECTRICAL ROOM METAL EXTERIOR DOOR FT. FINISH PT-1
- 21) MECHANICAL ROOF TOP UNITS SCREENED BEHIND PARAPET WALLS
- 22) DEVELOPMENT BUILDING ID WALL SIGN REFER TO 02 A-2.1 FOR NOTES

KEY NOTE	DESCRIPTION
PT-1	TEX-COTE XL-70 PAINT FINISH LIGHT GRAY MATCH SW 6001 (GRAY)
PT-2	TEX-COTE XL-70 PAINT FINISH DARK GRAY MATCH SW 6004 (MINK)
PT-3	(NOT USED)
PT-4	TEX-COTE XL-70 PAINT FINISH BLUE MATCH SW 6515 (LUMBER BLUE)
PT-5	(NOT USED)
PT-6	TEX-COTE XL-70 PAINT FINISH LIGHT MAROON MATCH SW 6327 (ROD TRUCK)
PT-7	PRE-FINISHED PAINT FINISH BY PANEL MANUFACTURE SYSTEM (PT-1)
PT-8	PAINT FINISH WHITE (MATCH SW 7000 (BIG WHITE))

Monument Sign

Scale: 1/2" = 1'-0" 02

Key Note Legend 01

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 REGISTERED ARCHITECT  
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 FL. REG. # AR 63364  
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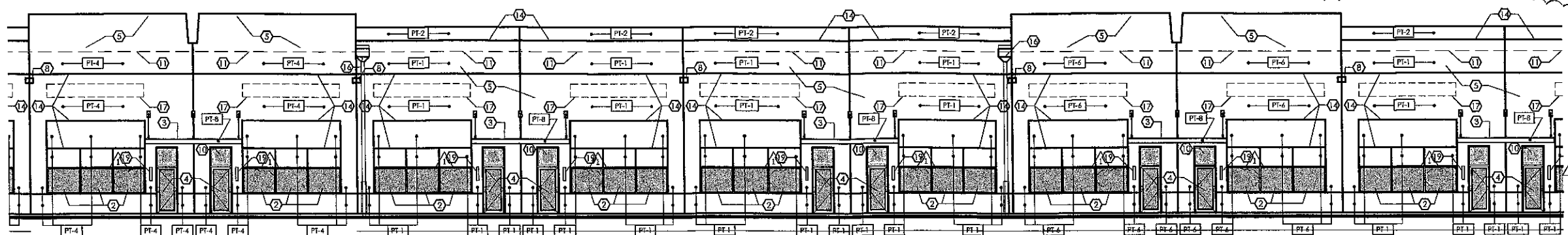
GRIFFIN COMMERCE CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:

01-07-16	DRC RESPONSES
02-04-16	DRC RESPONSES

ELEVATIONS  
 BLDG. 3 QUAD 302

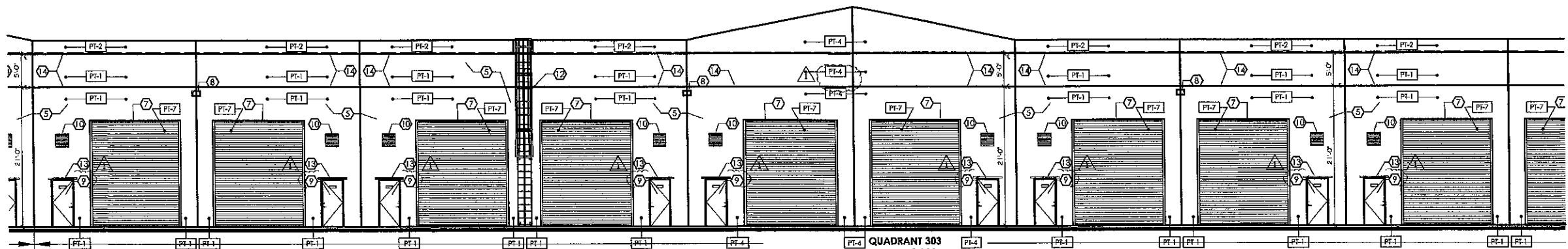
SHEET  
**A- 6.302**  
 PROJECT 151109  
 DRC DATE 11-25-15  
 DRC CASE NO.



QUADRANT 303  
REF. A-2.303

BUILDING "THREE" West Elevation: QUAD 303

Scale: 1/8" = 1'-0" 04



QUADRANT 303  
REF. A-2.303

BUILDING "THREE" East Elevation: QUAD 303

Scale: 1/8" = 1'-0" 03

- 1 NOT USED
  - 2 IMPROVED GLAZING SYSTEM, IMPACT RATED WHITE ALUM MULLIONS WITH CLEAR IMPACT LOW-E VISION GLASS. REF. TO 04 A-6.301, 02 A-6.301, 04 A-6.301, 04 A-6.302, 04 A-6.303 AND 04 A-6.304
  - 3 GUARANTEE CANOPY MANUFACTURER: METAL SHIELD INDUSTRIES INC. REF. 8 HIGH X 4" DEEP X VARIED METAL. REFER TO 04 A-6.201, 02 A-6.201, 04 A-6.301, 04 A-6.302, 04 A-6.303 AND 04 A-6.304
  - 4 MAIN ENTRY DOORS: 3'-0" X 7'-0" STORMPROOF SYSTEM, IMPACT RATED WHITE ALUM FRAMES WITH CLEAR IMPACT LOW-E VISION GLASS. REFER TO 04 A-6.201, 02 A-6.201, 04 A-6.301, 04 A-6.302, 04 A-6.303 AND 04 A-6.304
  - 5 TYPICAL EXTERIOR STRUCTURE WALLS TO BE CONCRETE TILT-WALL CONSTRUCTION WITH SHOOTI SHIELD TEK-COTE PT-1 AND 3/4" DEEP X 1-1/2" WIDE RECESSED REVEALS. PAINT FINISH TO MATCH SELECTED SYSTEMS' BRILLIANT PAINT COLORS.
  - 6 REF. 04A-6.201, AT BUILDING NUMBER "TWO" ONLY PROVIDE 12" W X 16" HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH "PT-2"
  - 7 AT BUILDING NUMBER "THREE" ONLY PROVIDE 14" W X 12" HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH "PT-2"
  - 8 EXTERIOR WALL PADS (ROOFING)
  - 9 1/2" W X 3/4" DEEP METAL NAUZE WIDE THROW SECURITY LIGHTING. ULTRACOLOR LIGHTING W/ 100 M W. FINISH DARK BLACK REQUIRED.
  - 10 AT REAR BAY DOORS ONLY: METAL EXTERIOR DOOR FT. FINISH WHITE, WITH ADDRESS NUMBERS IN BLACK TO BE A MINIMUM OF (3) INCHES IN HEIGHT. ALL REAR LETTERING ARE TO BE CONSISTENT IN STYLE.
  - 11 METAL EXTERIOR LEDGER
  - 12 INDICATED FINISH ROOF LINE
  - 13 ROOF ACCESS LADDER WITH SAFETY CAGE MOUNTED @ A.F.F. PAINTED TO MATCH PAINT PT-1. REFER DETAILS: 02A-6.201, 03 A-6.301, 03 A-6.303, 03 A-6.304
  - 14 12" H X 48" LONG GALV. METAL RAIN HOODS
  - 15 3/4" DEEP X 1-1/2" WIDE RECESSED REVEALS IN CONCRETE TILT-WALL "ANKLES"
  - 16 BUILDING ADDRESS NUMBER LOCATION @ LETTERS VERTICAL
  - 17 RAIL DOWN TO CIVIL STRUCTURES
  - 18 BUILDING ESTABLISHMENT IDENTIFICATION SIGNS INTERNALLY ILLUMINATED WITH CONCEALED RACEWAY, 1/2" TO 25 5/8" MAX. EACH. REF. 04A-2.1
  - 19 DEVELOPMENT BUILDING ADDRESS IDENTIFICATION SIGNS ON SHEET A-6.301 ONLY. INTERNALLY ILLUMINATED CHANGING LETTERS WITH FLUSH MOUNTED BACKING. A VARIANCE IS PROVIDED REDUCING 2" HIGH NUMBERS ON BOTH SOUTH AND WEST ELEVATIONS AND FOR PROVIDING A WALL SIGN ON HIGH FRONTAGE ROAD ON THE SOUTH ELEVATION. REFER 01 & 02 ON SHEET A-2.01 FOR TYPICAL DIMENSIONS.
  - 20 FRONT-TERRACE ADDRESS NUMBERS @ HIGH VERTICAL - GALVANNEED-CAST METAL. PAINTED RED
  - 21 ELECTRICAL ROOM METAL EXTERIOR DOOR FT. FINISH PT-1
  - 22 MECHANICAL ROOF TOP UNITS SCREENED BEHIND PARAPET WALLS
  - 23 DEVELOPMENT BUILDING ID SIGN REFER TO 02 A-2.1 FOR NOTES
- |      |  |
|------|--|
| PT-1 | TEK-COTE XL-70 PAINT FINISH LIGHT GRAY (MATCH SW 6001 GRAYISH)     |
| PT-2 | TEK-COTE XL-70 PAINT FINISH DARK GRAY (MATCH SW 6004 MID)          |
| PT-3 | (NOT USED)   |
| PT-4 | TEK-COTE XL-70 PAINT FINISH BLUE (MATCH SW 6515 INSURE BUD)        |
| PT-5 | (NOT USED)   |
| PT-6 | TEK-COTE XL-70 PAINT FINISH LIGHT HAZARD (MATCH SW 6327 BOLD BROK) |
| PT-7 | PRE-FINISHED PAINT FINISH BY PANEL MANUFACTURE SIMILAR PT-1        |
| PT-8 | PAINT FINISH WHITE (MATCH SW 7000 ISB WHITE)                       |

Not Used

02 Key Note Legend 01

CONSULTANT

Gregory B. Modan  
FL. REG. # AR 92804  
DATE:

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GRIFFIN COMMERCE CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:

A	01-07-16 DRC RESPONSES
B	02-08-16 DRC RE-RECORDING

ELEVATIONS  
BLDG. 3 QUAD 303

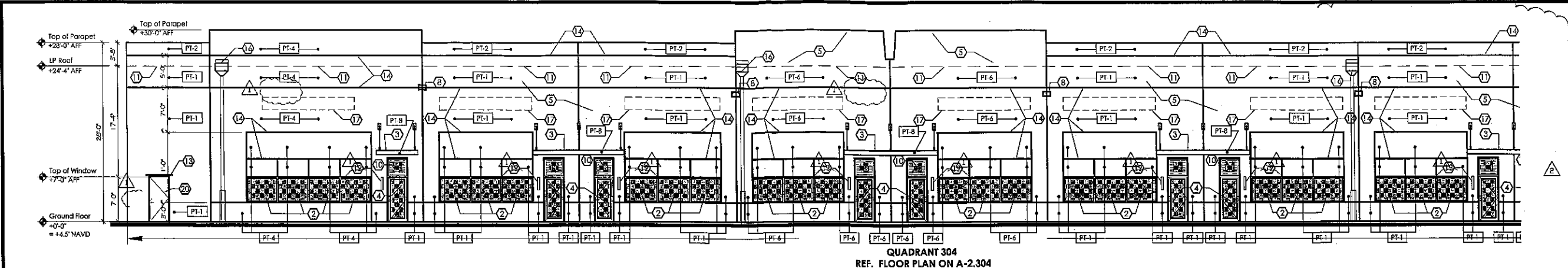
SHEET  
**A- 6.303**  
PROJECT 151109  
DRC DATE 11-25-15  
DRC CASE NO.

DRAWING ISSUE DATES:

01-07-16	DRC RESPONSES
02-4-16	DRC RESPONSES
03-11-16	DRC RESPONSES

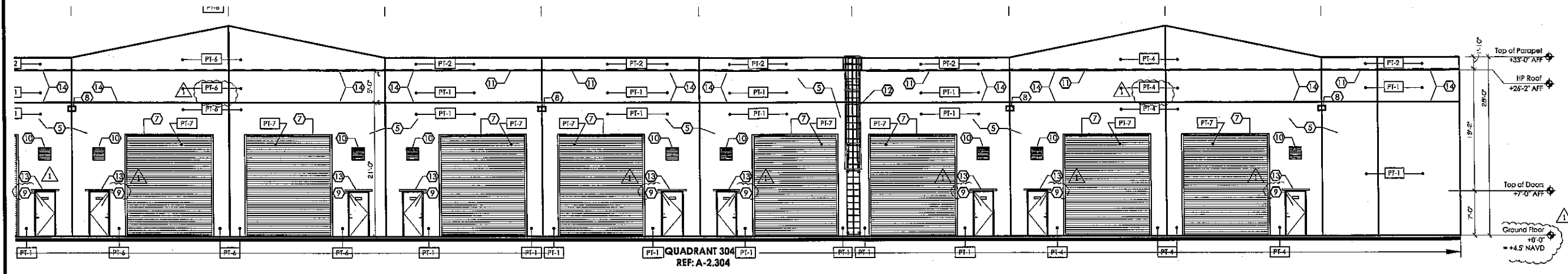
ELEVATIONS  
 BLDG. 3 QUAD 304

SHEET  
**A- 6.304**  
 PROJECT 151109  
 DRC DATE 11-25-15  
 DRC CASE NO.



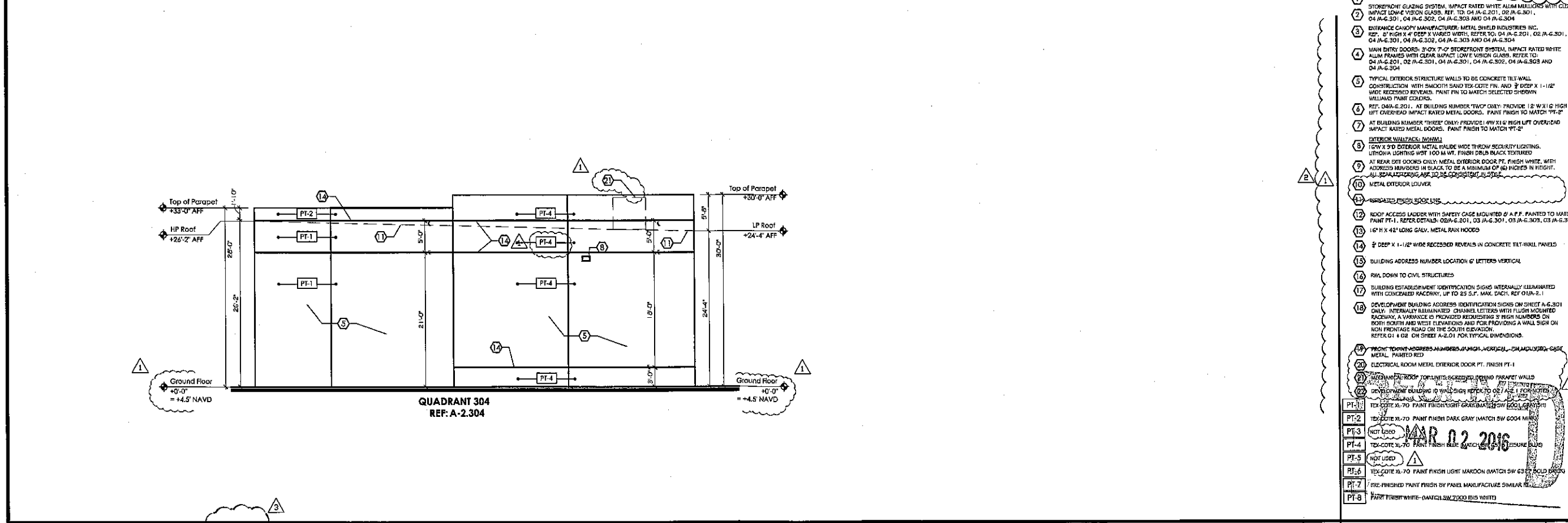
BUILDING "THREE" West Elevation: QUAD 304

Scale: 1/8" = 1'-0" 04



BUILDING "THREE" East Elevation: QUAD 304

Scale: 1/8" = 1'-0" 03



BUILDING "TWO" North Elevation: QUAD 304

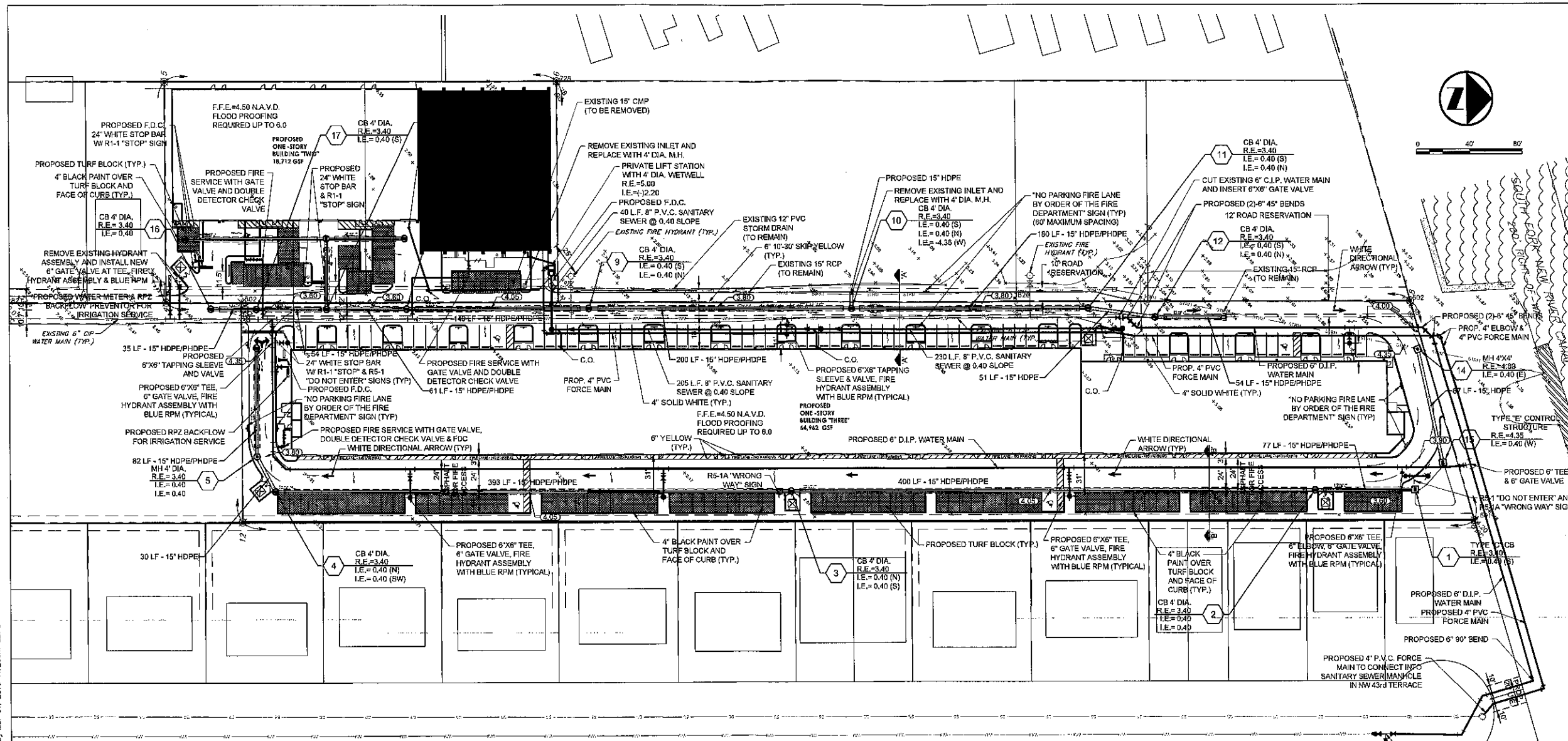
Scale: 1/8" = 1'-0" 02

Key Note Legend 01

- 1 NOT USED
- 2 STOREFRONT GLAZING SYSTEM, IMPACT RATED WHITE ALUM MILLIONS WITH CLEAR IMPACT LOW-E VISION GLASS. REF. TO: 04 JA-G-201, 02 JA-G-201, 04 JA-G-201, 04 JA-G-202, 04 JA-G-203 AND 04 JA-G-204
- 3 ENTRANCE CANOPY MANUFACTURER: METAL SHIELD INDUSTRIES INC. REF. 6" HIGH X 4" DEEP X VARIED WIDTH. REFER TO: 04 JA-G-201, 02 JA-G-201, 04 JA-G-201, 04 JA-G-202, 04 JA-G-203 AND 04 JA-G-204
- 4 MAIN ENTRY DOORS: 3'-0" X 7'-0" STOREFRONT SYSTEM, IMPACT RATED WHITE ALUM FRAMES WITH CLEAR IMPACT LOW-E VISION GLASS. REFER TO: 04 JA-G-201, 02 JA-G-201, 04 JA-G-202, 04 JA-G-203 AND 04 JA-G-204
- 5 TYPICAL EXTERIOR STRUCTURE WALLS TO BE CONCRETE TILT-WALL CONSTRUCTION WITH SMOOTH SAND TEX-COTE FIN. AND 3/4" DEEP X 1-1/2" WIDE RECESSED REVEALS. PAINT FIN TO MATCH SELECTED SHERWIN WILLIAMS PAINT COLORS.
- 6 REF. 04A-G-201. AT BUILDING NUMBER "TWO" ONLY: PROVIDE 12'-W X 10' HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH "PT-2"
- 7 AT BUILDING NUMBER "THREE" ONLY: PROVIDE 10'-W X 10' HIGH LIFT OVERHEAD IMPACT RATED METAL DOORS. PAINT FINISH TO MATCH "PT-2"
- 8 EXTERIOR WALLPAPER: NONE
- 9 10W X 9'D EXTERIOR METAL HALIDE WIDE THROW SECURITY LIGHTING. LITHONIA LIGHTING W/ST 100 M.WT. FINISH DRAB BLACK TEXTURED
- 10 AT REAR EXIT DOORS ONLY: METAL EXTERIOR DOOR FT. FINISH WHITE. WITH ADDRESS NUMBERS IN BLACK TO BE A MINIMUM OF 6" HIGH IN HEIGHT. ALL SCALING/LOGOS ARE TO BE CONSISTENT WITH THE METAL EXTERIOR LOUVER
- 11 METAL EXTERIOR LOUVER
- 12 GARAGE FINISH DOOR LINES
- 13 ROOF ACCESS LADDER WITH SAFETY GATE MOUNTED @ A.F.F. PAINTED TO MATCH PAINT PT-1. REFER DETAILS: 02A-G-201, 03 JA-G-201, 03 JA-G-203, 03 JA-G-204
- 14 16" H X 42" LONG GALV. METAL RAIN HOODS
- 15 3/4" DEEP X 1-1/2" WIDE RECESSED REVEALS IN CONCRETE TILT-WALL PANELS
- 16 BUILDING ADDRESS NUMBER LOCATION 6" LETTERS VERTICAL
- 17 R/W DOWN TO CIVIL STRUCTURES
- 18 BUILDING ESTABLISHMENT IDENTIFICATION SIGNS INTERNALLY ILLUMINATED WITH CONCEALED RACWAY, UP TO 25 S.F. MAX. EACH. REF 01A-2.1
- 19 DEVELOPMENT BUILDING ADDRESS IDENTIFICATION SIGNS ON SHEET A-6.301 ONLY. INTERNALLY ILLUMINATED CHANNEL LETTERS WITH FLUSH MOUNTED RACWAY. A VARIATION IS PROVIDED REQUESTING 8" HIGH NUMBERS ON BOTH SOUTH AND WEST ELEVATIONS AND FOR PROVIDING A WALL SIGN ON NON FRONTAGE ROAD ON THE SOUTH ELEVATION. REFER 01 & 02 ON SHEET A-6.301 FOR TYPICAL DIMENSIONS.
- 20 FRONT TOWER ADDRESS NUMBERS 4" HIGH, VERTICAL, ON ALUMINUM CASE METAL. PAINTED RED
- 21 ELECTRICAL ROOM METAL EXTERIOR DOOR FT. FINISH PT-1
- 22 METAL EXTERIOR DOOR FOR UNITS: SCHEDULED PERMET WALLS
- 23 DEVELOPMENT BUILDING ID WALL SIGN REFER TO 02 JA-G-201 FOR NOTES
- 24 TEX-COTE XL-70 PAINT FINISH LIGHT MAROON (MATCH SW 6004 MIM) PT-2
- 25 TEX-COTE XL-70 PAINT FINISH DARK GRAY (MATCH SW 6004 MIM) PT-2
- 26 TEX-COTE XL-70 PAINT FINISH LIGHT MAROON (MATCH SW 6232 BOLD BLUE) PT-5
- 27 TEX-COTE XL-70 PAINT FINISH BLUE (MATCH SW 6004 MIM) PT-4
- 28 TEX-COTE XL-70 PAINT FINISH LIGHT MAROON (MATCH SW 6232 BOLD BLUE) PT-5
- 29 PRE-FINISHED PAINT FINISH BY PANEL MANUFACTURER SIMILAR TO PT-7
- 30 PAINT FINISH WHITE (MATCH SW 7000 BLS WHITE) PT-8

MAR 02 2016

G:\2015\19-0055-002-01 DANIA BEACH WAREHOUSE Drawings\19-0055-002-01-Prop.dwg [C] Mar 01, 2016 11:26am CLIPS



DATE:	10-08-15
SCALE:	
DESIGN BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

GRAVEN THOMPSON AND ASSOCIATES, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
 FAX: (954) 739-6406 TEL: (954) 739-6400  
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271  
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 100014

GRIFFIN COMMERCIAL CENTER  
 DANIA BEACH, FLORIDA  
 PRELIMINARY ENGINEERING PLAN

**PROPOSED DRAINAGE LEGEND:**

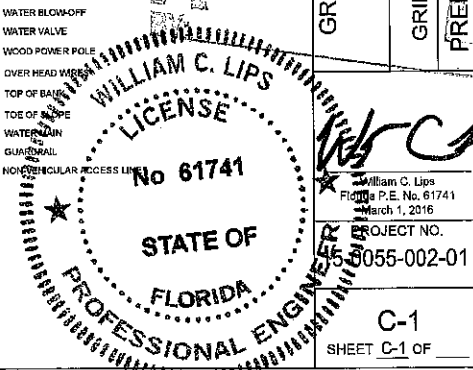
- |                                 |   |
|---------------------------------|---|
| ① DRAINAGE STRUCTURE NUMBER     | — DRAINAGE FLOW DIRECTION                               |
| CB-6Ø DRAINAGE STRUCTURE TYPE   | — PROPOSED PAVEMENT ELEVATION                           |
| R.E.= RIM ELEVATION             | — PROPOSED CONCRETE ELEVATION                           |
| G.E.= GRATE ELEVATION           | — PROPOSED STORM SEWER                                  |
| I.E.= INVERT ELEVATION          | — PROPOSED EXFILTRATION TRENCH                          |
| ○ PROPOSED DRAINAGE MANHOLE     | — PROPOSED DRAINAGE CLEAN OUT (SEE ARCHITECTURAL PLANS) |
| ■ PROPOSED DRAINAGE CATCH BASIN | ■ PROPOSED TURF BLOCK (PERVIOUS PAVEMENT)               |
| ○ PROPOSED DRAINAGE WELL        |   |

**PROPOSED WATER AND SEWER LEGEND:**

- |                           |                                      |
|---------------------------|--------------------------------------|
| — FIRE HYDRANT ASSEMBLY   | ① DRAINAGE STRUCTURE NUMBER          |
| — GATE VALVE              | R.E.= RIM ELEVATION                  |
| — WATER METER             | I.E.= INVERT ELEVATION               |
| — SAMPLING POINT          | ● SANITARY SEWER MANHOLE             |
| — REDUCER                 | ● CLEANOUT                           |
| — BACKFLOW PREVENTER      | — SANITARY SEWER PIPE FLOW DIRECTION |
| — SIAMESE FIRE CONNECTION | — SANITARY (SINGLE) SERVICE          |
| — PLUG                    | — SANITARY (DOUBLE) SERVICE          |

**EXISTING LEGEND:**

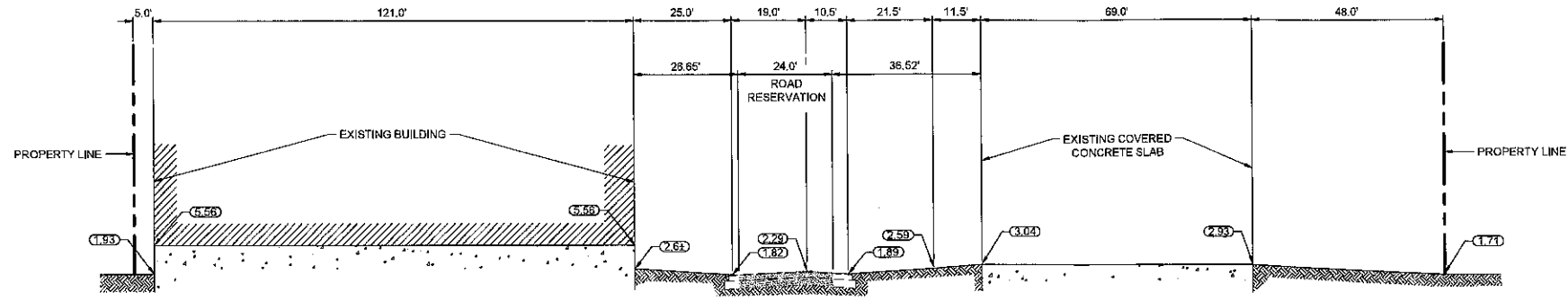
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|-----------------------|----------------------------|--------------------------|
| — ANCHOR              | ○ METAL LIGHT POLE         | ○ TRAFFIC POLE           |
| — BLOW-OFF VALVE      | ○ MONITORING WELL          | ○ TRAFFIC PULL BOX       |
| — GATCH BASIN         | — PIPE                     | — TRANSFORMER PAD        |
| — CONCRETE LIGHT POLE | □ PARKING LIGHT 2 SQUARE   | — WATER BLOW-OFF         |
| — CONCRETE POST       | ○ SANITARY MANHOLE         | — WATER VALVE            |
| — CONCRETE POWER POLE | — SIGN                     | — WOOD POWER POLE        |
| — CURB INLET          | ○ SPOT-FLOOD LIGHT         | — OVER HEAD WIRE         |
| — ELECTRICAL OUTLET   | — SANITARY SEWER CLEAN OUT | — TOP OF BANK            |
| — ELECTRICAL PANEL    | — STORM MANHOLE            | — TOE OF BANK            |
| — ELECTRICAL PULL BOX | ○ TELEPHONE MANHOLE        | — WATER MAIN             |
| — ELECTRICAL MARKER   | — TELEPHONE PEDESTAL       | — GUARDRAIL              |
| — GAS MARKER          | — TELEPHONE PULL BOX       | — NON-REGULAR ACCESS LIT |
| — HEADWALL            |                            |                          |



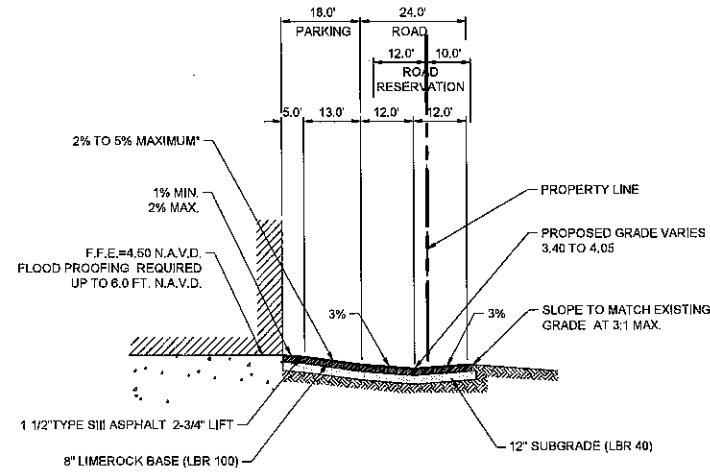
William C. Lips  
 P.E. No. 61741  
 March 1, 2016  
 PROJECT NO.  
 19-0055-002-01  
 SHEET C-1 OF



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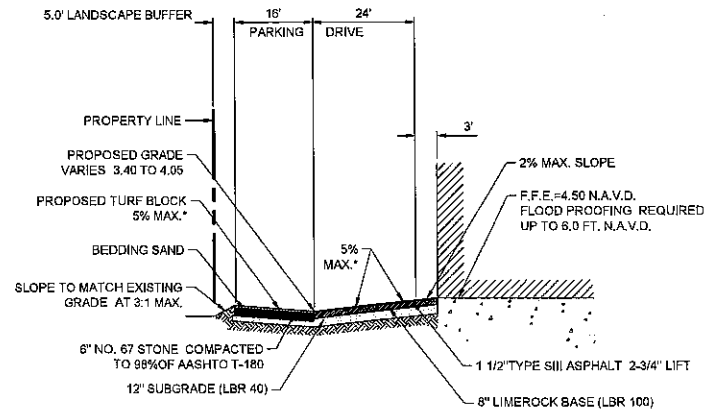


**EXISTING**  
SCALE: 1"=20' H  
1"=2' V



**SECTION 'A'-'A'**  
SCALE: 1"=20' H  
1"=2' V

\*MAXIMUM SLOPE OF 2% WITHIN ACCESSIBLE SPACES AND ACCESSIBLE ROUTE



**SECTION 'B'-'B'**  
SCALE: 1"=20' H  
1"=2' V

\*MAXIMUM SLOPE OF 2% WITHIN ACCESSIBLE SPACES AND ACCESSIBLE ROUTE

DATE	SCALE	DESIGN BY	DRAWN BY	CHECKED BY	APPROVED BY
10-06-15					

**GRAVEN THOMPSON AND ASSOCIATES, INC.**  
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3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
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FLORIDA LICENSE NO. 11000  
FLORIDA LICENSE NO. 11000  
FLORIDA LICENSE NO. 11000

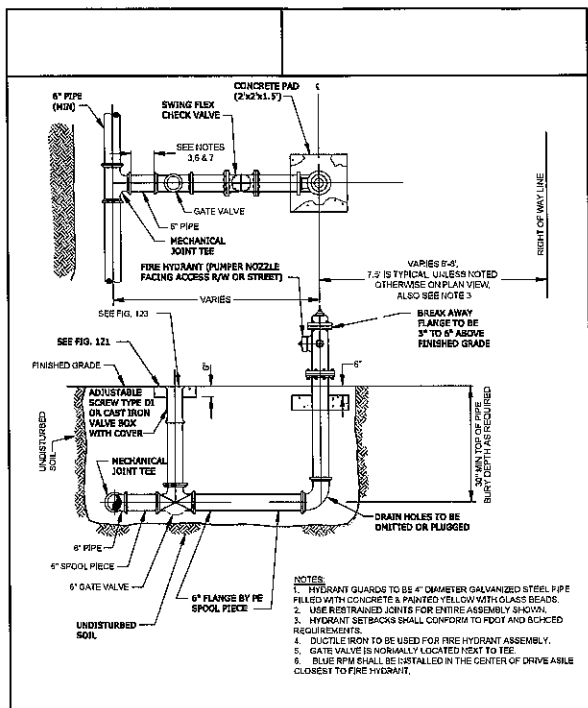
**GRIFFIN COMMERCIAL CENTER**  
DANIA BEACH, FLORIDA  
PREPARED FOR:  
**GRIFFIN COMMERCIAL CENTER LCC**  
PRELIMINARY ENGINEERING CROSS SECTIONS

**WILLIAM C. LIPS**  
LICENSE  
No 61741  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

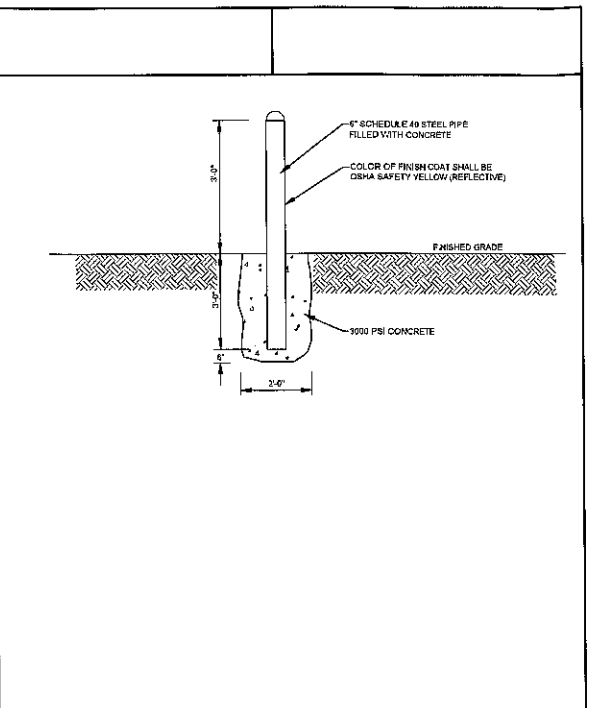
William C. Lips  
Florida P.E. No. 61741  
March 1, 2016  
PROJECT NO.  
15-0055-002-01

**C-2**  
SHEET C-2 OF

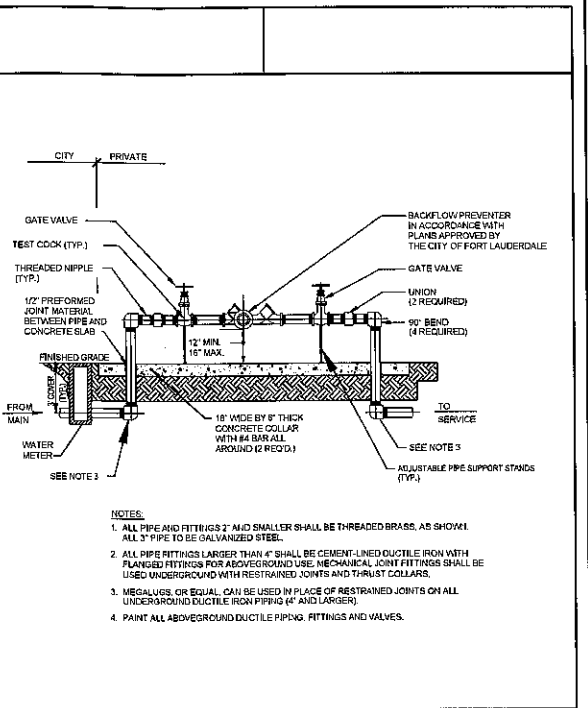
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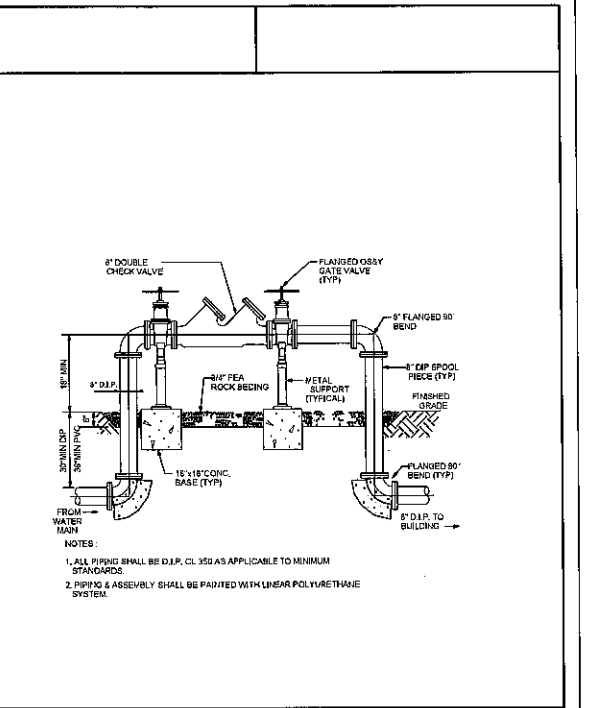
**FIRE HYDRANT INSTALLATION**  
FIGURE **231**



**BOLLARD DETAIL**  
FIGURE **194**



**REDUCE PRESSURE BACKFLOW PREVENTER**

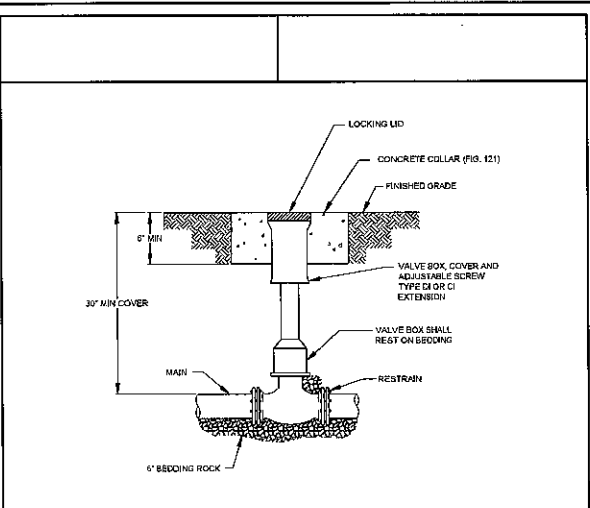


**DOUBLE DETECTOR CHECK VALVE**

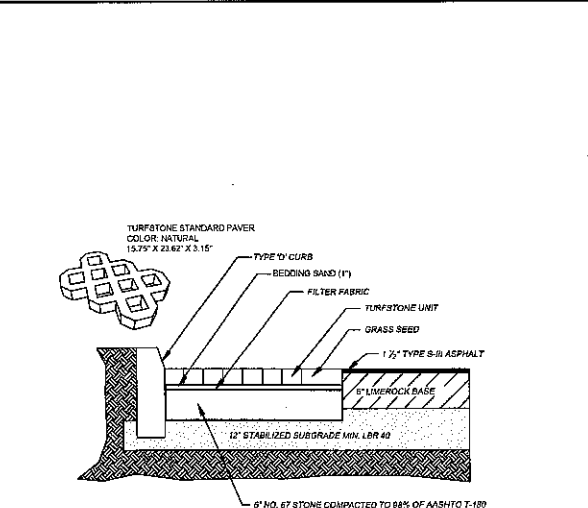
**SIGNAGE FOR FIRE DEPARTMENT CONNECTIONS**

- THE FDC MUST BE IDENTIFIED AS TO THE BUILDING (COMPLETE ADDRESS) OR PORTION OF THE BUILDING IT SERVES. PROVIDE A PERMANENT TACTILE SIGN AT THE FDC TO MEET THE ABOVE REQUIREMENT. [14.6.3.5.3]
- EACH FIRE DEPARTMENT CONNECTION SHALL BE DESIGNATED BY A SIGN HAVING RAISED LETTERS, AT LEAST 1 INCH IN HEIGHT, CAST ON A PLATE OR FITTING THAT READS "STANDPIPE", "STANDPIPE AND AUTOSPKR" OR "AUTOSPKR AND STAND PIPE". [14.6.3.5.2]
- A SIGN ALSO SHALL INDICATE THE PRESSURE REQUIRED AT THE INLETS TO DELIVER THE SYSTEM DEMAND. [14.6.3.5.2.2]

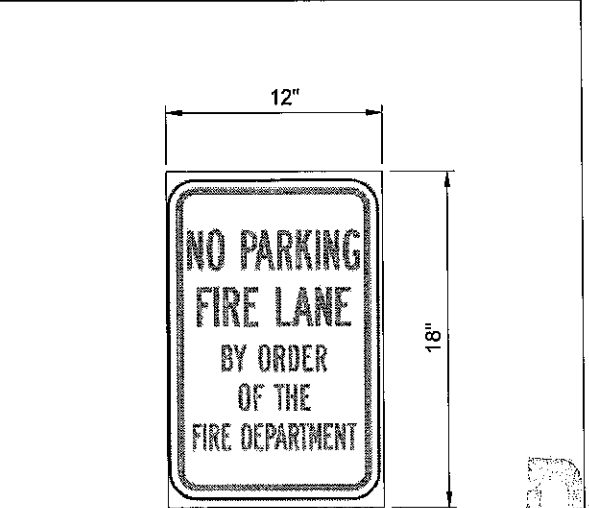
**FIRE DEPARTMENT CONNECTION SIGNAGE**



**VALVE BOX DETAIL**  
FIGURE **123**



**TURF BLOCK PAVING**  
SECTION / PLAN NTS  
NOTE: EDGE RESTRAINT TO BE PROVIDED ADJACENT TO ASPHALT



RECEIVED  
MAR 02 2016

WILLIAM C. LIPS  
LICENSE No 61741  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

PREPARED FOR:  
GRIFFIN COMMERCIAL CENTER LCC

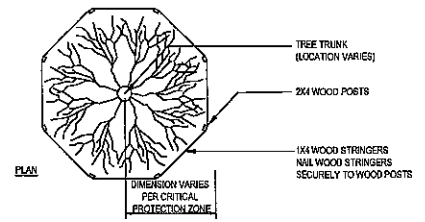
PROJECT NO. 15-0055-002-01

C-3  
SHEET C-3 OF

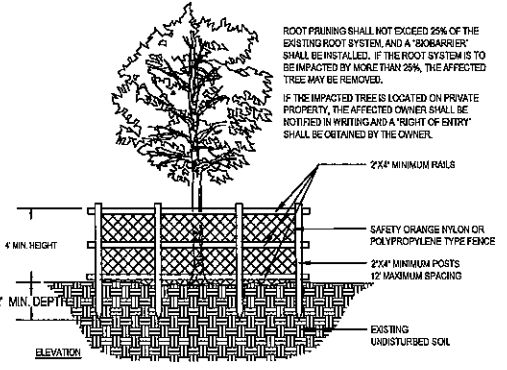
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APPROVED BY:	
DESCRIPTION:	

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ENGINEERS • PLANNERS • SURVEYORS  
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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014

**GRIFFIN COMMERCIAL CENTER**  
DANA BEACH, FLORIDA  
PRELIMINARY ENGINEERING DETAILS



NOTES: CRITICAL PROTECTION ZONE THE AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE TRUNK MEASURED AT 4\"/>



1 TREE BARRICADE PLAN & ELEVATION N.T.S.

**LEGEND**

(X) ###	EXISTING TREES/PALMS TO BE PROTECTED IN PLACE
(●) ###	TREE/PALM TO BE REMOVED

**TREE SCHEDULE**

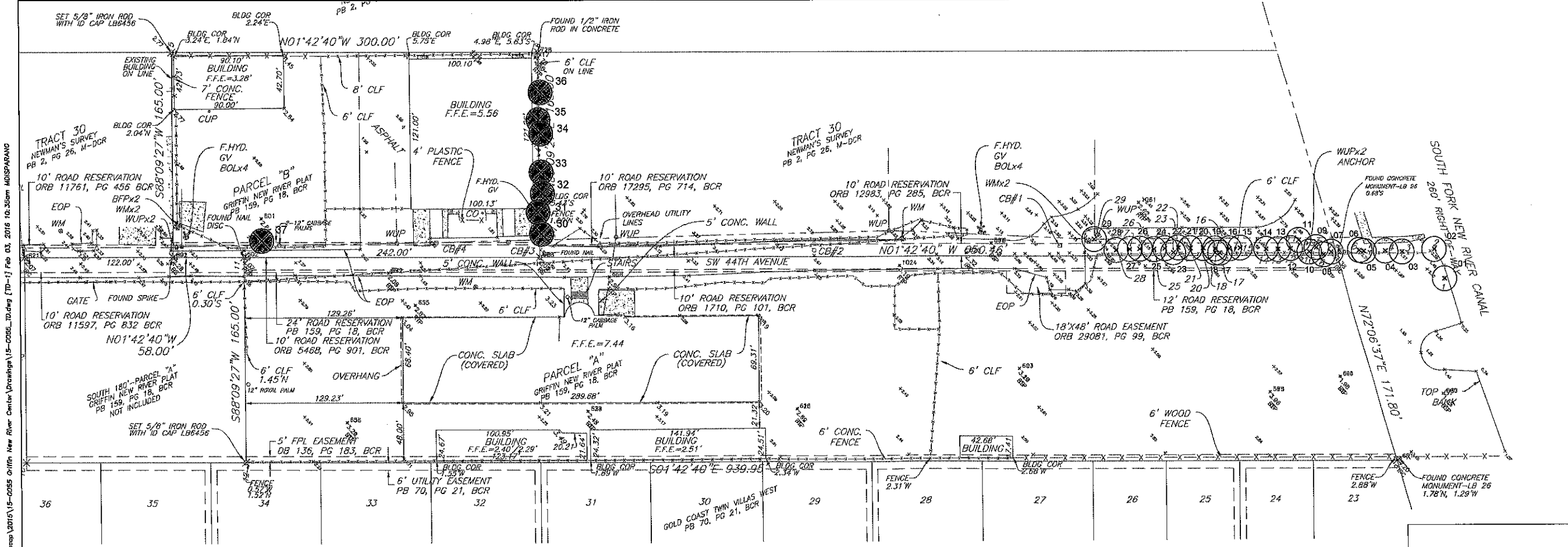
No.	Botanical Name	Common Name	Caliper (in.)	Canopy (Dia.)	Canopy (SF)	Height D.A. (ft.)	Condition	Disposition	Notes
1	Delonix regia	Royal Poinciana	12"	22	380	20'	fair	PIP	off-site
2	Delonix regia	Royal Poinciana	15"	24	452	22'	fair	PIP	off-site
3	Delonix regia	Royal Poinciana	4"	8	50	6'	fair	PIP	off-site
4	Delonix regia	Royal Poinciana	4"	9	64	6'	fair	PIP	off-site
5	Delonix regia	Royal Poinciana	4"	8	50	7'	fair	PIP	off-site
6	Delonix regia	Royal Poinciana	8"	12	113	10'	fair	PIP	off-site
7	Delonix regia	Royal Poinciana	5"	10	79	9'	fair	PIP	off-site
8	Washingtonia robusta	Washingtonia Palm	8"	6	28	10'	fair	PIP	off-site
9	Cocos nucifera	Coconut Palm	8"	10	79	12' CT	good	PIP	off-site
10	Delonix regia	Royal Poinciana	4"	8	50	10'	fair	PIP	off-site
11	Sabal palmetto	Cabbage Palm	15"	8	50	12'	good	PIP	off-site
12	Swietenia mahagoni	Mahogany	10"	12	113	16'	fair	PIP	off-site
13	Cocos nucifera	Coconut Palm	7"	10	79	10'	fair	PIP	off-site
14	Quercus virginiana	Southern Live Oak	3"	6	28	7'	fair	PIP	off-site
15	Quercus virginiana	Southern Live Oak	3"	8	50	7'	fair	PIP	off-site
16	Cocos nucifera	Coconut Palm	7"	10	79	10'	good	PIP	off-site
17	Delonix regia	Royal Poinciana	4"	10	79	8'	fair	PIP	off-site
18	Delonix regia	Royal Poinciana	4"	8	50	8'	fair	PIP	off-site
19	Unknown	Unknown	5"	7	38	10'	fair	PIP	off-site
20	Cocos nucifera	Coconut Palm	7"	10	79	12'	good	PIP	off-site
21	Quercus virginiana	Southern Live Oak	5"	10	79	9'	fair	PIP	off-site
22	Cocos nucifera	Coconut Palm	7"	10	79	12'	fair	PIP	off-site
23	Delonix regia	Royal Poinciana	5"	6	28	9'	fair	PIP	off-site
24	Quercus virginiana	Southern Live Oak	3"	8	50	8'	fair	PIP	off-site
25	Cocos nucifera	Coconut Palm	7"	10	79	11'	good	PIP	off-site
26	Quercus virginiana	Southern Live Oak	5"	11	95	12'	good	PIP	off-site
27	Cocos nucifera	Coconut Palm	7"	10	79	12'	good	PIP	off-site
28	Quercus virginiana	Southern Live Oak	7"	10	79	10'	fair	PIP	off-site
29	Sabal palmetto	Cabbage Palm	12"	8	50	12'	good	PIP	off-site
30	Schinus terebinthifolius	Florida Holly	2"	10	79	15'	fair	remove	Invasive
31	Schinus terebinthifolius	Florida Holly	2"	8	50	14'	fair	remove	Invasive
32	Schinus terebinthifolius	Florida Holly	2"	10	79	14'	fair	remove	Invasive
33	Schinus terebinthifolius	Florida Holly	1.5"	12	113	14'	fair	remove	Invasive
34	Schinus terebinthifolius	Florida Holly	1.5"	12	113	14'	fair	remove	Invasive
35	Schinus terebinthifolius	Florida Holly	1.5"	10	79	14'	fair	remove	Invasive
36	Schinus terebinthifolius	Florida Holly	1.5"	10	79	14'	fair	remove	Invasive
37	Sabal palmetto	Sabal Palm	12"	6	28	8'	good	remove	

Total tree canopy removed = (invasive - 620 SF), (non-invasive - 28 SF) = 648 SF

Total tree canopy to be mitigated = (invasive - 620 x .25 = 155 SF), (non-invasive 28 SF) = 183 SF

Total tree canopy replaced = 250 SF

(5 x 50 SF (cat. 4)) = 250 SF



DATE:	11-24-15
SCALE:	
DESIGN BY:	DJS
DRAWN BY:	MRD
CHECKED BY:	DJS
APPROVED BY:	DJS
DATE:	

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014



GRIFFIN COMMERCIAL CENTER  
DANIA BEACH, FLORIDA

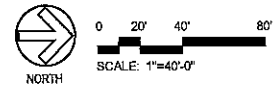
PREPARED FOR:  
GRIFFIN COMMERCIAL CENTER, LLC

**TREE DISPOSITION PLAN**

Douglas J. Schultz  
Florida RLA 8666937

PROJECT NO.  
15-0055-002-01

**TD-1**  
SHEET 1 OF 2



M:\cadd\landscap\2015\15-0055 Griffin New River Center Drawings\15-0055\_TD.dwg [D-1] Feb 03, 2016 10:35am MDSPARAW

GENERAL

Tree relocation work shall be performed in compliance with the CONTRACTOR'S progress, schedule as approved by the CITY. However, relocation work shall start no sooner than the beginning of the construction contract and shall be completed by the completion date of the contract. No relocation work shall start before the date approved nor continue without the knowledge of the CITY.

REFERENCES

- A. Where referenced standards conflict with other specified requirements, the more restrictive or stringent requirements shall govern. Comply with applicable requirements of the following standards:
1. American National Standards Institute (ANSI): Z60.1 American National Standards for Nursery Stock (Sponsor: American Association of Nurserymen, Inc.).
2. National Arborist Association, ~537 Stratford Rd., Wantagh, NY 11793 (NAA): Ref. 1 Transplanting of Trees and Shrubs in the Southeastern United States.
3. Florida Department of Agriculture and Consumer Services: Grades and Standards for Nursery Plants.

DESCRIPTION

- A. Plant materials to be relocated on site are indicated on the Drawings. Those not shown will be relocated as directed by the CITY.
B. The person (foreman or superintendent) in charge of and responsible for the CONTRACTOR'S tree relocation crews shall have a minimum 10 years experience in transplanting of plant materials, shall be recognized by the American Association of Nurserymen, be an ISA Certified Arborist, and be a licensed "Tree Trimmer" in Broward County.
C. Existing trees to remain shall be protected during all construction phases. Protective barriers shall be provided and built to FDOT #544 specifications for those existing trees adjacent to construction operations. Replacement of any trees that are damaged or destroyed due to the CONTRACTOR'S operations shall be the CONTRACTOR'S responsibility and shall be replaced at the CONTRACTOR'S expense. Any existing tree that dies within one year after final acceptance shall be replaced with a number of trees of the same species to equal the caliper DBH of the existing tree lost. Replacement trees shall be Florida No. 1 and have a caliper DBH of no smaller than 3".
D. Remove other vegetation as necessary and as directed by the LANDSCAPE ARCHITECT to accommodate new plantings.
E. Tree pits or holes remaining after relocation of plant material shall be backfilled with clean fill and brought back flush with surrounding grade, unless the pits are to be immediately replanted. Pits that are to be quickly replanted shall be surrounded by safety barricades to prevent accidental falls into pits. In areas where new plant material will replace relocated plant material, appropriate soil mix shall be used as backfill.

QUALITY ASSURANCE

- A. Unless otherwise specified herein, tree transplanting shall conform to National Arborist Association, Ref. 1.
B. CONTRACTOR shall comply with National Arborist Association standards for pruning and shall remove branches from trees that are to remain as necessary to clear new construction.
C. CONTRACTOR shall recommend procedures to compensate for loss of roots (if any) and shall perform initial pruning of branches and stimulation of root growth where removed to accommodate new construction.
D. Tree repair work shall be performed for damage incurred by construction by an ISA Certified Arborist.
E. Routine progress evaluation reports shall be provided on relocated trees until the end of the maintenance period.
F. Evaluate existing trees prior to transplanting and verify that trees are free from disease and sufficiently strong to survive relocation from the site to their new location. Notify the LANDSCAPE ARCHITECT in writing of any trees that the CONTRACTOR considers insufficiently strong to survive relocation.

SUBMITTAL

- A. CONTRACTOR shall submit for approval by OWNER a list of equipment, procedures, and labor force anticipated for use in tree relocation. CONTRACTOR shall include start date, completion date, and schedule of relocation as part of the approved progress schedule and, in addition, shall submit a more detailed daily schedule for the transplanting period, showing the schedule for root pruning and the number of units to be dug and relocated to specified areas.
For those materials that require root pruning, the relocation schedule will begin at the end of the specified root pruning period.
C. CONTRACTOR shall apply for and pay all costs associated with tree removal/relocation permits. The permit shall be obtained from the CITY.
D. Prior to start of relocation work, the CONTRACTOR shall submit for approval details of the tree protection system to be utilized. All trees indicated to remain during construction shall be protected in accordance with recognized standards of the industry and protection shall be removed once construction is complete. CONTRACTOR shall also certify that where damage occurred, trees were promptly and properly treated, and shall indicate which damaged trees (if any) are incapable of retaining full growth potential and are recommended to be replaced.
E. The CONTRACTOR, in order to guarantee his work, may use methods, sequence and schedule for effecting tree relocations and plant protection methods different from what is described in these specifications. However, if different, the CONTRACTOR must submit for approval a full description of all proposed methods, sequence of events and schedule for effecting tree relocations and plant protection.
F. CONTRACTOR shall coordinate tree relocation with road construction and other related operations and such coordination shall be clearly evidenced in the schedule submittal.
G. CONTRACTOR must submit procedures to be utilized for maintenance of all relocated trees.

GUARANTEE

- A. Relocated plant material shall fall under the standard 12 month guarantee.
B. Damage to other plants, lawn or construction work occurring within the work area during tree relocation shall be repaired at no cost to the CITY. This also includes, but is not limited to, damage of curbs, walks, roads, fences, site furnishings, etc. Replacing and replanting of damaged trees, shrubs or turf shall be performed in accordance with this specification.
C. Existing tree canopy shall not have more than 25% loss after relocation procedures are completed. CONTRACTOR shall be responsible for replacing any canopy loss due to lack of care and/or inadequate methods of transplanting the trees and palms that would cause the death of said plant material. Any transplanted tree that dies within one year after final acceptance shall be replaced with a number of trees of the same species to equal the caliper DBH of the transplanted tree lost. Replacement trees shall be Florida No. 1 having a caliper DBH no smaller than 3". Replacement shall be the CONTRACTOR'S responsibility.

TRANSPLANTING - GENERAL

- A. Transplanting shall consist of on-site transplanting of existing trees. Trees shall be transplanted only once from existing location to permanent positions as shown on Drawings.
B. Digging, Wrapping and Handling: Plants shall be dug and prepared for moving in a manner that will not cause damage to branches, shape, root system, and development.
C. Balled and Burlapped Plants: Balls shall be firmly wrapped with burlap or approved cloth substitute. No balled plant will be acceptable if the ball is cracked and broken, or if the stem or trunk is loose in the ball, either before or during transplanting. Balled plants shall be lifted and handled from the bottom of the ball, properly protected and delivered to the replanting site, to be planted immediately and watered thoroughly. Ball sizes shall be as recommended in ANSI Z60.1

TAGGING

- A. Trees within the designated areas for relocation shall be clearly marked by means of yellow plastic surveyors' ribbons and coordinated with the LANDSCAPE ARCHITECT and CITY prior to root pruning and/or digging.

ROOT PREPARATION

- A. Trees to be relocated shall be root pruned at least 60 days prior to digging with clean, sharp equipment. The specific requirements for root ball size shall be in accordance with the table below. CONTRACTOR shall maintain root pruned materials by watering, weeding, mowing, spraying, fertilizing, and other horticulture practices. After root pruning, backfill with good rooting medium, fertilize with organic fertilizer to promote root growth, mulch to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature fluctuation.
B. Root Ball Size Chart: Root ball sizes shall be in accordance with minimum standards set forth in Grades and Standards for Nursery Plants Part 11, Palms and Trees, Florida Department of Agriculture, as follows:

Table with 2 columns: Caliper and Minimum Ball Diameter. Rows include 3 1/2 - 4", 4 - 4 1/2", 4 1/2 - 5", 5 - 5 1/2", Larger Sizes, 2. Ball Diameter, Less than 20", 20" to 30", 30" to 48".

CROWN PREPARATION

- A. Shade Trees:
1. Shade Trees: Selectively prune and thin crown to remove approximately one third of the branches. In so doing, preserve the basic shape and form of the tree, eliminate cross branching and dead or diseased branches.
2. Hand strip selected species of all leaves following pruning and prior to moving.

HAND DIGGING

- A. Burlapping will be required. Trees that are burlapped for relocation shall comply with and be handled in same manner as new plant material specified in Section 02900-Landscape Work.

HANDLING AND TRANSPORTATION

- A. Trees shall be properly handled during moving so trunks will not be scarred or damaged and to avoid broken limbs. Broken limbs which do not cause the tree to be rejected shall be repaired under the following guidelines:
1. Properly prune dead, dying, or damaged branches with clean, sharp equipment.
2. Remove injured bark and wood of a tree with a clean, sharp knife to a point where healthy bark and wood make contact at their margins.
3. Inspect and treat wound for insect and disease.
4. Seal wounds with bituminous base wound paint for all limbs greater than 3" diameter.
B. Transport trees on vehicles of adequate size to prevent overcrowding, broken limbs, foliage damage or root ball damage.
C. Root ball should be kept moist during all phases of relocation.
D. Tree crowns shall be protected with shade cloth to prevent desiccation and wind burn. Crowns shall be periodically sprayed with water to help ensure against desiccation.
E. Plant material shall be handled only in ways and means accepted by the industry and acceptable to the LANDSCAPE ARCHITECT.
F. Plant material shall be planted the same day it is dug. Preparation of planting pits or beds shall be coordinated to ensure this schedule.

PLANTING

- A. Relocated Material
1. Relocated trees shall be planted according to procedures described for new material, Section 02900-Landscape Work. Verify that final grades have been established prior to planting operations. Ensure that proposed planting pits drain by test filling with water prior to transplantation.
5. CONTRACTOR shall continue watering and caring for relocated material as described in paragraph 3.09.
6. Mulch tree pit areas to reduce weeds, discourage foot traffic and its compacting effect, conserve moisture and minimize temperature fluctuations.
7. Brace trunk and leave in place until trees/ palms are wind firm. (1± year)
8. Wrap trunks and structural branches of thin barked trees to protect against sun scald and dehydration. Retain through at least one growing season, and through cold season.
9. Feed with a diluted solution of N\_P\_K in solution form with a soil needle, providing water, air, and nutrients.
10. Where foliage is retarded, spray with one of the soluble types of foliage feeders.
11. At time of planting, use soil needles for watering new transplant to fill air pockets and to keep roots (especially feeder roots) moist, live, and healthy. Direct fine spray at foliage to help harden\_off new leaves.

STAKING AND GUYING

Designated material shall be staked and guyed according to planting details.

WATERING

- A. CONTRACTOR shall be responsible for the manual watering of relocated plant materials for 90 days. If utilized, all temporary watering system installations shall be completely removed by the CONTRACTOR after the watering period.
B. Following transplanting, CONTRACTOR shall water trees daily for the first two weeks, every other day for the next two weeks. Soaking then shall continue on a twice weekly basis for another period of eight (8) weeks. Such watering shall thoroughly saturate the root ball to its full depth and is in addition to the underground irrigation system.

MAINTENANCE

- A. All relocated plant materials shall be maintained immediately after each item is planted and continued until 90 day watering period is completed or until final acceptance whichever is latest, at which time the Property Owner, will assume responsibility for maintenance of the landscaping materials, following the procedures and recommendations of the CONTRACTOR.
B. During this maintenance period, all relocated plant materials shall be maintained in accordance with the procedures described in Section 02900-Landscape Work.

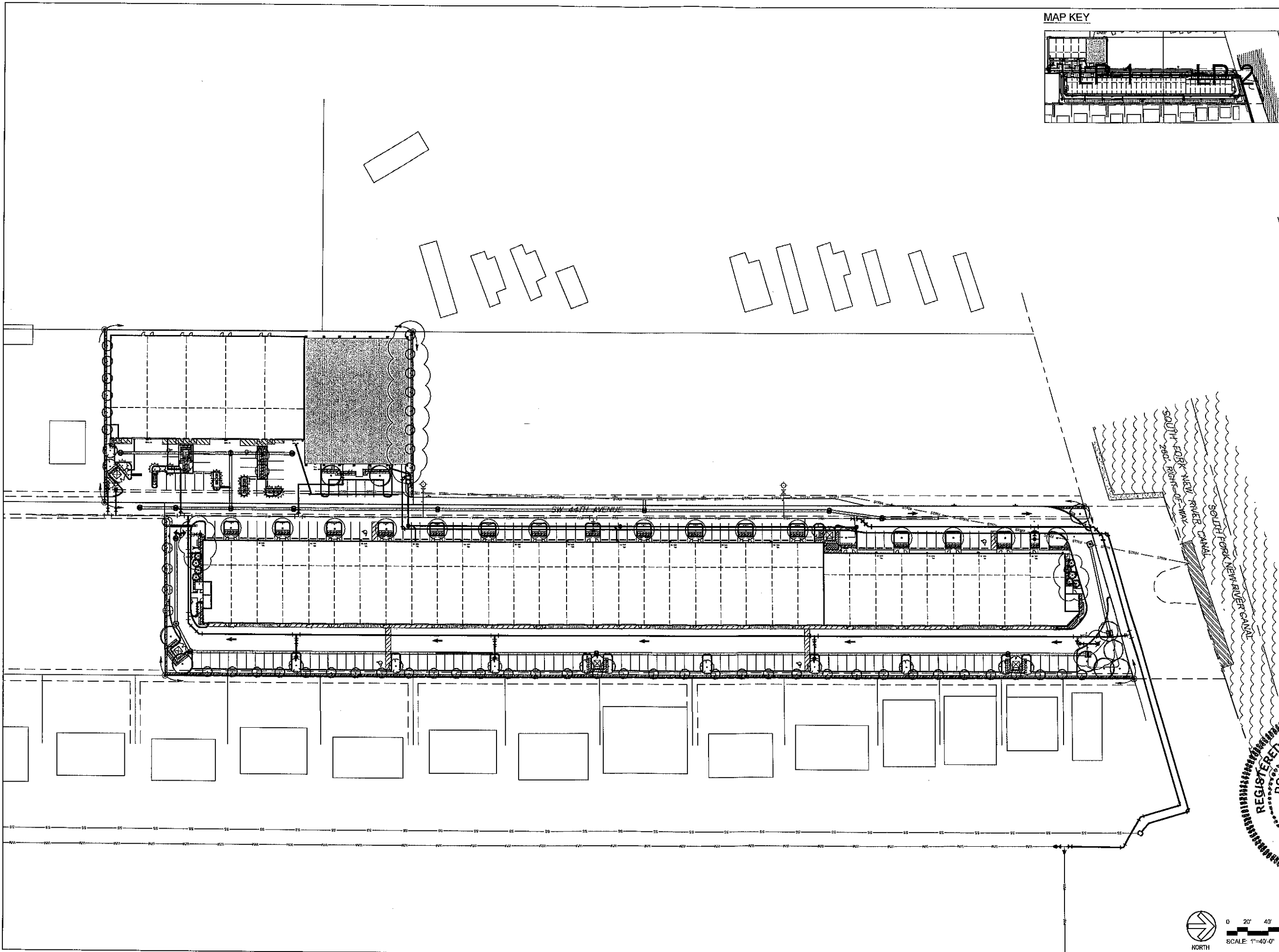
CLEAN UP

- A. Upon completion of the work, the CONTRACTOR shall thoroughly clean the landscaped area, removing all equipment, unused materials, rubbish and surplus excavated material, and shall fine grade all disturbed areas, including areas adjacent to the transplanted materials, to provide a neat and uniform site. All damaged or altered existing structures, as a result of the landscape work, shall be corrected.

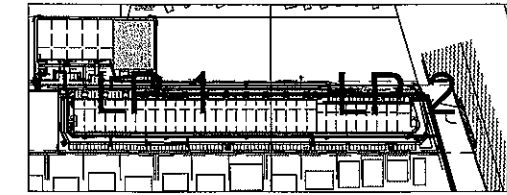
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MAP KEY



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DRAWN BY:	MJD
CHECKED BY:	DJS
APPROVED BY:	DJS
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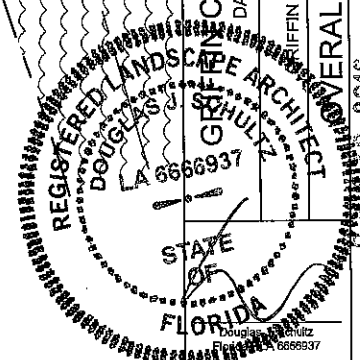
**CRAVEN • THOMPSON AND ASSOCIATES, INC.**  
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 FLORIDA LICENSED PROFESSIONAL ARCHITECTURE BUSINESS NO. C000714  
 FLORIDA LICENSED PROFESSIONAL ENGINEERING BUSINESS NO. C000714  
 FLORIDA LICENSED PROFESSIONAL SURVEYING BUSINESS NO. C000714

**COMMERCIAL CENTER**  
 DANIA BEACH, FLORIDA

PREPARED FOR:  
**COMMERCIAL CENTER, LLC**

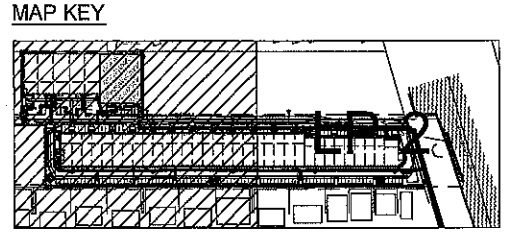
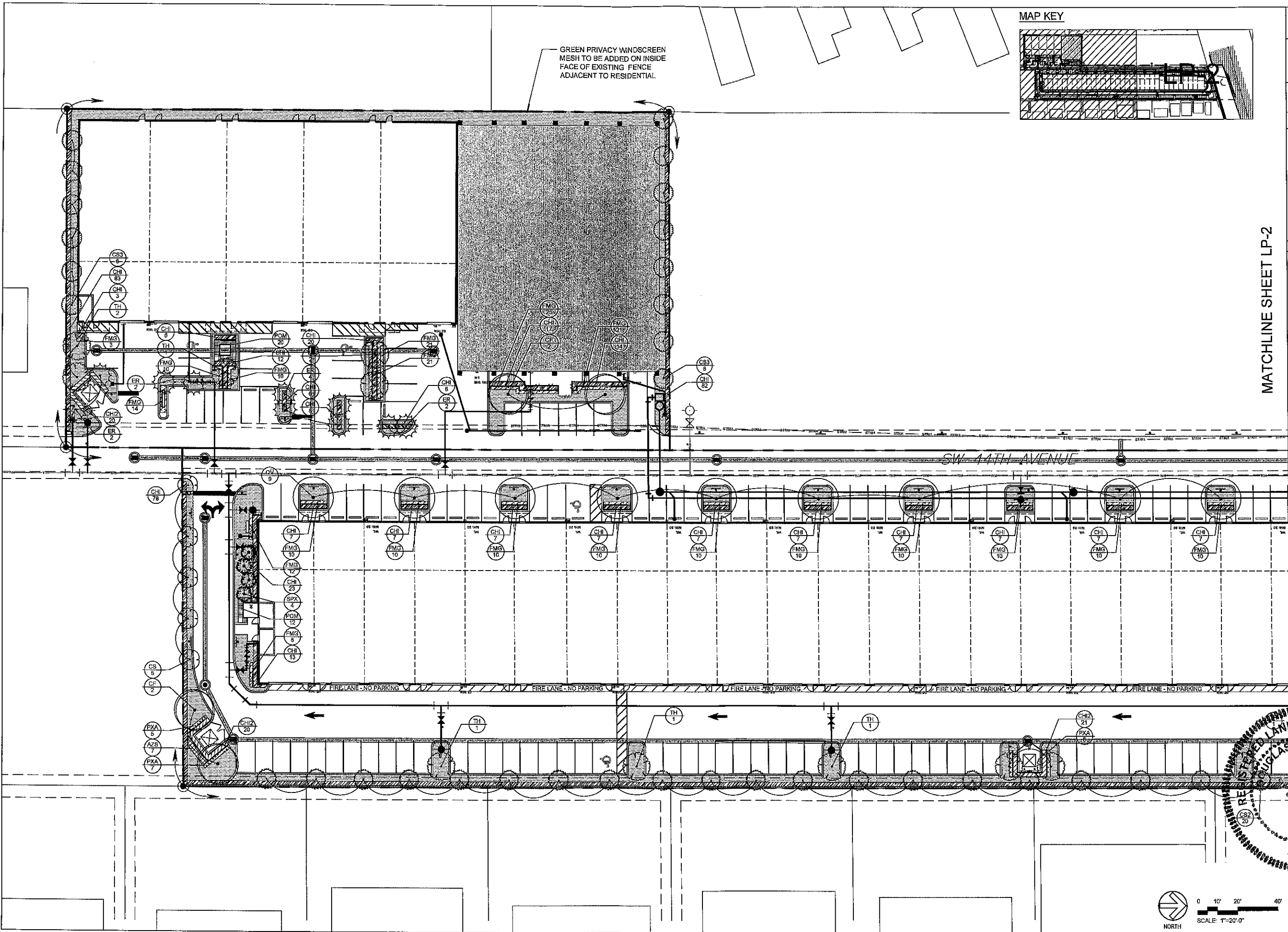
PROJECT NO.  
**15-0055-002-01**

**OLP**  
 SHEET 1 OF 1



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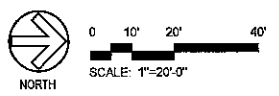


MATCHLINE SHEET LP-2

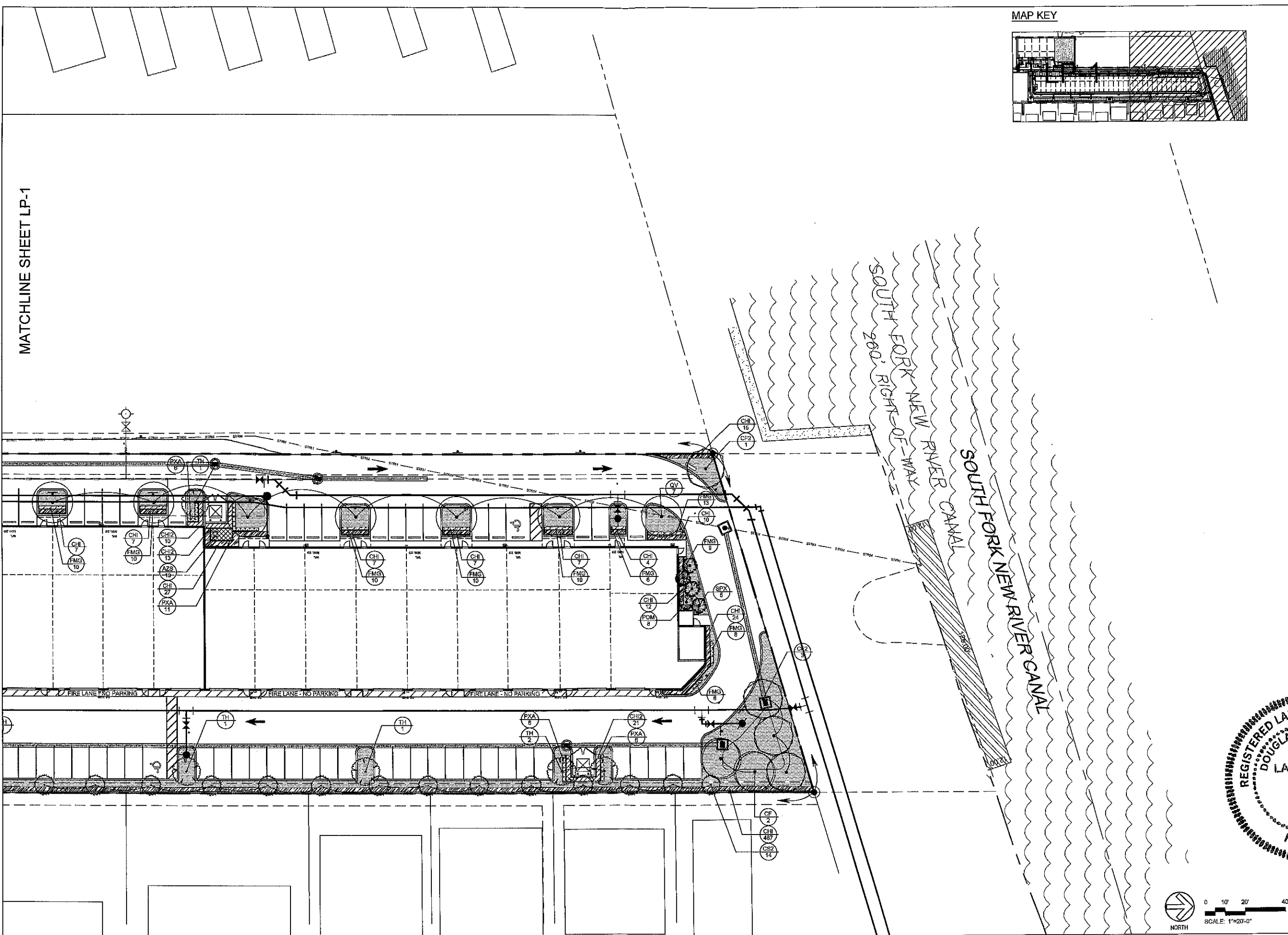
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APPROVED BY	DJS
BY	DATE
DESCRIPTION	
1. DISCREPANCY	
1. REVISIONS PER FIRE COMMENTS	

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 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00714  
 15-0055-002-01

GRIFFIN COMMERCIAL CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR  
 GRIFFIN COMMERCIAL CENTER, LLC  
 LANDSCAPE PLAN  
 STATE OF FLORIDA  
 REGISTERED LANDSCAPE ARCHITECT  
 GREGORY A. SCHULTZ  
 66693  
 PROJECT NO.  
 15-0055-002-01  
 LP-1  
 SHEET 1 OF 4

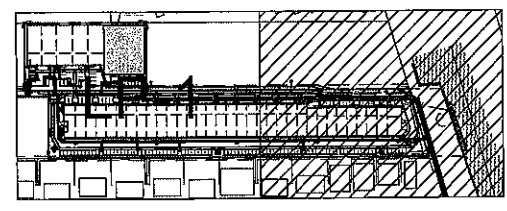


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MATCHLINE SHEET LP-1

MAP KEY



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SCALE:	D.S.
DESIGN BY:	M.R.D.
DRAWN BY:	D.J.S.
CHECKED BY:	D.J.S.
APPROVED BY:	D.J.S.
DATE:	
DESCRIPTION:	
BY:	
DATE:	

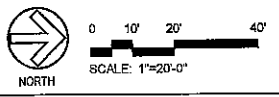
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 FLORIDA LICENSED PROFESSIONAL ARCHITECTS NO. 20401  
 FLORIDA LICENSED PROFESSIONAL LANDSCAPE ARCHITECTS NO. 20401  
 FLORIDA LICENSED PROFESSIONAL SURVEYORS NO. 20401

**COMMERCIAL CENTER**  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
**COMMERCIAL CENTER, LLC**

**LANDSCAPE PLAN**  
 REGISTERED LANDSCAPE ARCHITECT  
 DOUGLAS J. SCHULTZ  
 LA 6666937  
 STATE OF FLORIDA  
 Florida License No. 666937

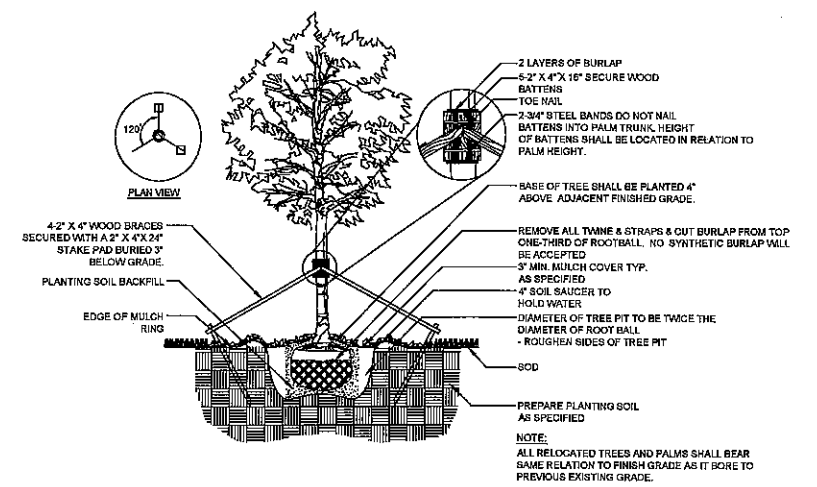
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 15-0055-002-01

**LP-2**  
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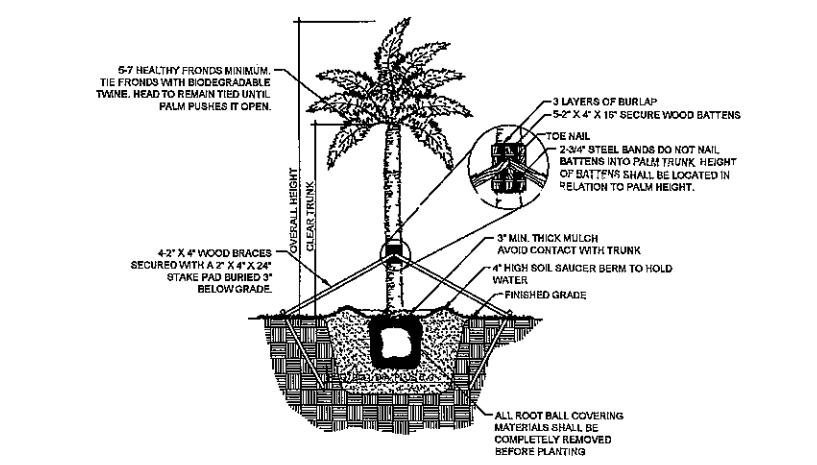


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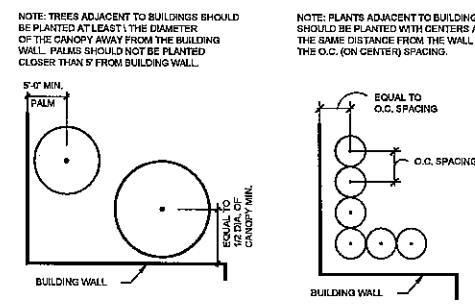
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1 TREE SECTION NTS

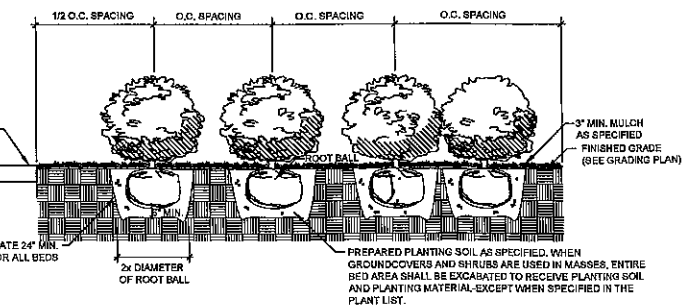


2 PALM (TYPICAL) SECTION NTS

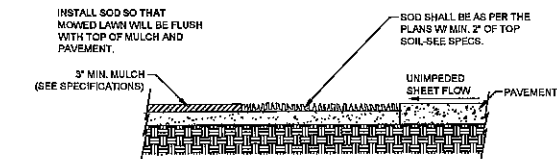


3 PLANTING ADJACENT TO BUILDING PLAN NTS

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE
	CF	6	Cassia fistula	Golden Shower	2.5\"/>	
	CF2	4	Cassia fistula	Golden Shower	2.5\"/>	
	CS3	14	Conocarpus erectus 'Sericeus'	Silver Buttonwood	2\"/>	
	CS	5	Conocarpus erectus 'Sericeus'	Silver Buttonwood	2\"/>	
	CS2	34	Conocarpus erectus 'Sericeus'	Silver Buttonwood	2\"/>	
	ER	10	Eugenia rhombea	Red Stopper	1.5\"/>	
	QV	16	Quercus virginiana	Southern Live Oak	2\"/>	
	TH	16	Tabebuia heterophylla	Pink Tabebuia	2\"/>	
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE
	SPX	9	Sabal palmetto	Cabbage Palmetto	6\"/>	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
	AZS	17	Alpinia zerumbet speciosa	Green Shell Ginger	48\"/>	
	CHI	1,057	Chrysobalanus icaco	Cocoplum	30\"/>	
	CHI2	105	Chrysobalanus icaco	Cocoplum	36\"/>	
	FMG	339	Ficus microcarpa 'Green Island'	Green Island Ficus	24\"/>	
	PXA	53	Philodendron x 'Xanadu'	Philodendron	18\"/>	
	POM	40	Podocarpus macrophyllus	Yew Pine	6\"/>	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
	SOD	14,219 sf	Stenotaphrum secundatum	St. Augustine Grass	SOD	



4 SHRUB PLANTING SECTION NTS



5 SOD INSTALLATION SECTION NTS

LANDSCAPE DATA	REQUIRED	PROVIDED
<b>Native Plant Material (Sec. 275-60)</b>		
50% of required trees (102 total x .5)	51 trees	65 trees
50% of required shrubs (2,142 lf x .5)	1,071 shrubs	2,230 lf shrubs
<b>Landscaping buffer VUA and abutting property (Sec. 275-90)</b>		
minimum depth of landscape strip	5'	0-5'
<b>1 tree per 40 lineal feet</b>		
<b>Parcel 'A':</b>		
South (165 lf / 40)	5 trees	6 trees
East (940 lf / 40)	24 trees	36 trees
West (692 lf / 40)	23 trees	0 tree
<b>Parcel 'B':</b>		
North (39 lf / 40)	1 tree	1 tree
South (61 lf / 40)	2 trees	3 trees
East (58 lf / 40)	2 trees	0 trees
<b>Interior landscaping for Vehicular Use Areas (Sec. 275-100)</b>		
20% of total Vehicular Use Area to be interior landscape total VUA (69,826 sf x .2)	13,966 sf	17,488 sf
<b>Intermediate peninsula:</b>		
dimensions (27 peninsulas)	8' x 15'	4'4\"/>
1 tree per peninsula (22 peninsulas)	27 trees	25 trees
<b>1 tree per terminal peninsula (11 peninsulas)</b>	11 trees	13 trees (1 island does not include a tree)
<b>minimum depth of landscape strip between VUA and building</b>		
<b>Parcel 'A':</b>	5'	0-5'
<b>Parcel 'B':</b>	5'	0-4'
<b>Landscaping buffer between industrial and residential property (Sec. 275-110)</b>		
minimum depth of landscape strip		
<b>Parcel 'A':</b>		
East	10'	5'
<b>Parcel 'B':</b>		
West	10'	4'6"
<b>masonry wall minimum height</b>	8'	8'
<b>masonry wall minimum distance from residentially zoned property</b>	5'	0
<b>1 tree per 40 lineal feet</b>		
<b>Parcel 'A':</b>		
East (940 lf / 40)	24 trees	* satisfied under Sec. 275-90
<b>Parcel 'B':</b>		
West (78 lf / 40)	2 trees	* satisfied under Sec. 275-90
<b>Landscaping buffer for all other perimeter areas (Sec. 275-120)</b>		
minimum depth of landscape strip	10'	0-6'4"
<b>1 tree per 40 lineal feet to be planted at 16' overall height</b>		
<b>Parcel 'A':</b>		
North (172 lf / 40)	5 trees	4 trees
South (165 lf / 40)	5 trees	* satisfied under Sec. 275-90
West (651 lf / 40)	17 trees	* satisfied under Sec. 275-90
<b>Parcel 'B':</b>		
North (126 lf / 40)	4 trees	7 trees
South (104 lf / 40)	3 trees	5 trees
West (212 lf / 40)	6 trees	0 trees
<b>Landscape screening (Sec. 275-110)</b>		
20% of the front facade of structures to be planted with shrubs		
<b>Parcel 'A':</b>		
Bldg '3' (new warehouse/office) (838 lf x .2)	168 shrubs	174 shrubs
<b>Parcel 'B':</b>		
Bldg '1' (existing) (101 lf x .2)	21 shrubs	26 shrubs
Bldg '2' (new warehouse/office) (192 lf x .2)	39 shrubs	54 shrubs
<b>Plant material for installation purposes (Sec. 275-190)</b>		
shade trees - 40% minimum of overall count (108 x .4)	43 trees (min.)	74 trees
intermediate trees - 30% maximum of overall count (108 x .3)	32 trees (max.)	21 trees
small trees - 10% maximum of overall count (108 x .1)	11 trees (max.)	10 trees
palms - 20% maximum of overall count (108 x .2)	22 trees (max.)	3 trees
<b>Total trees:</b>	108 trees	108 trees
<b>Total shrubs:</b>	2,142 shrubs	2,250 shrubs

DATE:	SCALE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
11-24-15		DJS	MRD	DJS	DJS

CRAVEN - THOMPSON AND ASSOCIATES, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 3565 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
 TEL: (954) 738-9400 FAX: (954) 738-9408  
 FLORIDA LICENSED ENGINEERS, ARCHITECTS, PLANNERS & SURVEYORS  
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000047  
 1. ERIC REIS-Submittal  
 1. REVISIONS PER FIRE COMMENTS  
 1. DATE: \_\_\_\_\_ BY: \_\_\_\_\_ DESCRIPTION: \_\_\_\_\_

GRIFFIN COMMERCIAL CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCIAL CENTER, LLC  
 LANDSCAPE DETAILS & DATA

REGISTERED LANDSCAPE ARCHITECT  
 DOUGLAS J. SCHULTZ  
 LA 6666937  
 STATE OF FLORIDA  
 Douglas J. Schultz  
 Florida License No. LA 6666937  
 15-0055-002  
 LP-3  
 SHEET 3 OF 4

02 MAR 2016



# GENERAL NOTES

- A PRE-CONSTRUCTION MEETING WITH THE DANIA BEACH CITY ARBORIST IS REQUIRED PRIOR TO LANDSCAPING ACTIVITIES INCLUDING REMOVAL OF TREES AND/OR INSTALLATION OF PLANT MATERIAL. CALL 954-924-0423 A MINIMUM OF 5 DAYS PRIOR TO DESIRED START DATE TO SCHEDULE PRE-CONSTRUCTION MEETING.
- ALL EXISTING TREES PROPOSED TO REMAIN ARE TO BE SEPARATED FROM THE LIMITS OF DISTURBANCE OF THE CONSTRUCTION AREA BY TREE PROTECTION FENCING AND SIGNAGE. THE TREE PROTECTION FENCING SHALL BE LOCATED AT THE EDGE OF THE TREE PROTECTION ZONE AS SHOWN ON THE PLAN OR AT THE EDGE OF THE DRIP LINE(S) IF A TREE PROTECTION ZONE IS NOT DESIGNATED. NO MATERIAL STORAGE OR CONSTRUCTION ACCESS IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- ALL EXISTING TREES SHALL BE PRUNED TO ANSI A-300 STANDARDS TO CORRECT POTENTIAL HAZARDS.
- A TREE REMOVAL PERMIT IS REQUIRED PRIOR TO REMOVAL OR RELOCATION OF ANY TREE OR PALM. CONTACT THE DANIA BEACH CITY ARBORIST AT 954-924-6805 TO OBTAIN PERMIT INFORMATION.
- LANDSCAPE CONTRACTOR SHALL NOTIFY SUNSHINE ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 A MINIMUM OF 2 FULL BUSINESS DAYS PRIOR TO DIGGING. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO UTILITIES FROM PLANT INSTALLATION.
- TREE RELOCATIONS:
  - EXISTING TREES TO BE RELOCATED SHALL BE ROOT PRUNED A MINIMUM OF 120 DAYS PRIOR TO RELOCATION
  - MINIMUM ROOT BALL SIZES SHALL BE IN ACCORDANCE WITH ANSI STANDARDS AS FOLLOWS:
 

CALIPER	MINIMUM ROOT BALL DIAMETER
1	16
2	24
3	32
4	42
5	54
6	60
7	70
8	80
>8	12 INCHES PER INCH OF TRUNK DIAMETER

 TRANSPLANTED TREES WITH UNDERSIZED ROOT BALLS MAY BE REJECTED BY THE CITY ARBORIST AND REPLACEMENT TREES MAY BE REQUIRED.
  - A TEMPORARY IRRIGATION SYSTEM SHALL BE PROVIDED DURING AND FOR THE FIRST 40 DAYS AFTER ROOT PRUNING.
- ALL PLANTING MUST FOLLOW PLANTING SPECIFICATIONS AND DETAILS SHOWN ON THE PLAN.
- SUBSTITUTIONS OF PLANT SPECIES OR SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE DANIA BEACH CITY ARBORIST PRIOR TO USE.
- ALL PLANT MATERIAL PLANTED PER THIS LANDSCAPE PLAN SHALL BE FLORIDA GRADE #1 OR BETTER, AS SPECIFIED IN THE CURRENT EDITION OF THE FLORIDA DEPARTMENT OF AGRICULTURE'S GRADES AND STANDARDS FOR NURSERY PLANTS. DAMAGED PLANT MATERIAL SHALL BE REJECTED AND REPLACED PRIOR TO INSTALLATION.
- ALL SIZES SHOWN FOR PLANT MATERIAL ARE TO BE CONSIDERED MINIMUMS.
- WHERE QUANTITIES AND/OR SPECIES DIFFER BETWEEN THE PLANTING PLANS AND PLANT LISTS, THE PLANS SHALL TAKE PRECEDENCE.
- ALL NEW PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR. THE WARRANTEE PERIOD SHALL BEGIN AFTER ACCEPTANCE OF THE PLANTS BY THE CITY ARBORIST.
- PLANT BEDS TO BE TREATED WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING
- ALL TREE AND PALM STAKING AND SUPPORT SHALL BE REMOVED ONE YEAR AFTER INSTALLATION.
- NO FERTILIZER SHALL BE APPLIED TO NEWLY PLANTED TREES AND PALMS.
- ALL LANDSCAPE MATERIAL SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING, NO DRY PLANTING PERMITTED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER PROVISIONS UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS OPERATIONAL.
- ALL WIRE GUYS AND/OR FABRIC STRAPS SHALL BE FLAGGED WITH FLORESCENT COLORED TAPE.
- MULCHING:
  - ALL LANDSCAPE AREAS NOT COVERED BY SOD SHALL BE COVERED BY A MINIMUM 3-INCH LAYER OF MULCH.
  - A MULCH RING WITH A MINIMUM RADIUS OF 24 INCHES (48 INCH DIAMETER), IS REQUIRED AROUND ALL NEWLY INSTALLED TREES AND PALMS.
  - CYPRESS MULCH SHALL NOT BE USED.
  - NO MULCH SHALL BE PLACED TOUCHING OR WITHIN SIX INCHES OF THE TRUNK OF A TREE OR PALM.
- ALL NEWLY LANDSCAPED AREAS SHALL BE EXCAVATED DOWN TO A DEPTH OF 24 INCHES BELOW FINAL GRADE AND BACK FILLED WITH CLEAN DEBRIS-FREE SOIL. EXISTING SOIL MAY BE RE-USED FOR BACKFILLING IF DEBRIS IS REMOVED AND ORGANIC CONTENT IS SUFFICIENT OR SOIL IS AUGMENTED WITH TOPSOIL. CONSTRUCTION ACCESS SHALL BE RESTRICTED FROM THE LANDSCAPE AREA AFTER EXCAVATION AND BACKFILL IS COMPLETE.
- ALL LANDSCAPE AREAS SHALL BE FINISH GRADED SUCH THAT THEY ARE A MINIMUM OF 3.5 INCHES BELOW SURROUNDING PAVED SURFACES SO AS NOT TO IMPED E THE FLOW OF DRAINAGE INTO LANDSCAPED AREAS AND TO ALLOW FOR A 3-INCH MULCH LAYER.
- THE LOCATION OF PLANT MATERIAL, AS SHOWN ON THESE PLANS IS FINAL. THE FINAL LOCATIONS CAN BE ADJUSTED ON SITE TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS. THESE CHANGES MUST COMPLY WITH ALL SAFETY SETBACK CRITERIA AND BE DIRECTED OR APPROVED BY THE LANDSCAPE ARCHITECT AND THE CITY OF SUNRISE CODES.
- REPORT ANY AND ALL DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- BEFORE CONSTRUCTION BEGINS THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. IF SUCH DAMAGE OCCURS THE CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY REPAIRS AND THEY SHOULD BE MADE IMMEDIATELY AT THE CONTRACTORS EXPENSE WITH SUPERVISION OF THE LANDSCAPE ARCHITECT.
- ALL WORK MUST COMPLY WITH THE FLORIDA STATE STATUTE 553.81- "PROTECTION OF UNDERGROUND PIPELINES."
- THE CONTRACTOR MUST COMPLY WITH ALL STATE AND LOCAL WATER QUALITY STANDARDS.

# LANDSCAPE NOTES

- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED SHALL BE FLORIDA NO. 1 GRADE OR BETTER, AND SHALL BE INSTALLED AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS," PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANT MATERIAL MUST BE HEALTHY, VIGOROUS MATERIALS, FREE OF PESTS AND DISEASES.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED AS MINIMUMS. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN OR SPECIFICATIONS WILL ALSO BE REQUIRED FOR ACCEPTANCE. ANY SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTING MEETING SPECIFICATIONS AS NOTED BEFORE INSTALLATION. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL PLANTING THAT DOES NOT MEET SPECIFICATIONS AND BE HELD RESPONSIBLE TO REPLACE IT WITH APPROPRIATE PLANTING.
- IN THE EVENT OF A VARIATION BETWEEN THE PLANT LISTS AND THE ACTUAL QUANTITY OF PLANTS SHOWN, THE PLANS HOLD TRUE.
- ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN GRADES AND STANDARDS FOR NURSERY PLANTS.
- CONTRACTOR TO SUBMIT TO THE LANDSCAPE ARCHITECT THE GROWERS AND/OR SITE INSPECTION CERTIFICATE FOR PLANT MATERIALS TWO (2) WEEKS PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIALS MUST BE PROTECTED DURING TRANSPORT AND DELIVERY TO THE JOB SITE WITH SHADE CLOTH OR OTHER ACCEPTABLE MEANS OF WINDBURN PREVENTION.
- CONTRACTORS SHALL FIELD VERIFY ALL INFORMATION PRIOR TO INITIATING PLANTING INSTALLATION. ALL EXISTING PLANTING SHALL REMAIN INTACT AND UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS.
- LANDSCAPE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION FOR THE REVIEW AND APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL TREES MUST BE FLORIDA #1, STRAIGHT TRUNKED, FULL HEADED, AND MEET ALL REQUIREMENTS SPECIFIED.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR A FULL YEAR ESTABLISHMENT PERIOD FOLLOWING DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR TO REPLACE REJECTED PLANT MATERIAL WITHIN ONE WEEK OF NOTICE.
- CONTRACTOR TO REQUEST INSPECTION OF PROJECT IN WRITING. IF ALL WORK IS SATISFACTORY AND COMPLETE IN ACCORDANCE WITH CONDITIONS OF CONTRACT DOCUMENTS, THEN THE CITY AND LANDSCAPE ARCHITECT SHALL DECLARE SUBSTANTIALLY COMPLETE. SUBSTANTIAL COMPLETION CONSTITUTES THE BEGINNING OF THE GUARANTEE PERIOD.
- INSTALLATION- ALL PLANT MATERIAL SHALL BE INSTALLED IN A SOUND WORKMANLIKE MANNER AND ACCORDING TO GOOD PLANTING PROCEDURES WITH THE QUALITY OF PLANT MATERIALS AS HEREAFTER DESCRIBED. ALL ELEMENTS OF LANDSCAPING SHALL BE INSTALLED SO AS TO MEET ALL APPLICABLE ORDINANCES AND CODE REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTAINING ALL TREES AND LANDSCAPE UNTIL FINAL ACCEPTANCE BY OWNER. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE AND PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF PLANTS IF DEAD OR DYING PRIOR TO FINAL ACCEPTANCE.
- TYPICALLY, SHRUB AND GROUND COVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHOULD BE PLACED ON A TRIANGULAR SPACING SHOWN IN THE PLANTING DETAILS. PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- TREES GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE THE GROW BAG REMOVED ENTIRELY BEFORE PLANTING.
- BALLED AND BURLAPPED MATERIAL SHALL HAVE THE TOP ONE HALF (1/2) OF THE BURLAP AROUND THE BASE OF THE TRUNK CUT AND PULLED BACK. DO NOT REMOVE THE BURLAP BUT WIRE CAGES, STRAPS, ETC. MUST BE CUT AND REMOVED COMPLETELY BEFORE INSTALLATION.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES, AND ANY OTHER MATERIALS FROM THE LANDSCAPE ARCHITECT FOR COMPLETE LANDSCAPE PLANTING INSTRUCTIONS.
- "BRANCH TOUCHING BRANCH" PROVIDED AT TIME OF INSTALLATION. ALL HEDGES - BOTH CORYMBUS AND SILVER BUTTWOOD TO BE MIN. 24" AT PLANTING AND 36" HIGH WITHIN ONE YEAR.
- THE FOLLOWING GUIDELINES SHALL BE FOLLOWED TO ENSURE SUCCESSFUL TRANSPLANTING OF TREES:
  - ANY TREE BEING RELOCATED SHALL NOT BE UNNECESSARILY DAMAGED DURING REMOVAL, TRANSPORT, OR PLANTING OF THAT TREE.
  - TREES MUST BE ROOT PRUNED APPROPRIATELY PRIOR TO REMOVAL.
  - DURING AND FOLLOWING TRANSPLANTING THE ROOT BALL MUST BE KEPT MOIST AT ALL TIMES.
  - TRANSPLANTED TREES SHALL BE BRANDED AT LEAST ONE FULL YEAR.
  - TRANSPLANTED TREES SHALL NOT BE FERTILIZED AT PLANTING TIME BUT SHALL BE WATERED SUFFICIENTLY UNTIL THE TREE GROWTH IS REESTABLISHED.
  - RELOCATED TREES/PALMS WILL BE MOVED IN ACCORDANCE WITH MINIMUM STANDARDS SET FORTH IN ANSI A-300.
  - ALL CROWN PRUNING SHALL BE DONE IN ACCORDANCE WITH NATIONAL ARBORIST ASSOCIATION STANDARDS OR PALM PRUNING IN ACCORDANCE WITH CITY STANDARDS.
- LANDSCAPE CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK. LANDSCAPE CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION OR INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING LAWN AREAS DAMAGED WHILE COMPLETING PLANTING INSTALLATION WITH SAME GRASS SPECIES TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
- GENERAL GRADING TO APPROXIMATELY 1 INCH SHALL BE PROVIDED BY THE CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
- ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED TO PROVIDE CONTINUOUS CLEAR ZONES FOR SIGHT VISIBILITY FOR PEDESTRIANS AND VEHICLES. THE PUBLIC AND LANDSCAPE MAINTENANCE SHALL CONFORM TO STANDARD INDEX 546 CRITERIA SET FORTH IN F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS.

# LANDSCAPESOIL PREPARATION, SOIL MIX, FERTILIZER, + MULCH NOTES: E NOTES

- ENSURE THAT ALL PLANTING SOIL IS FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS AND STONES LARGER THAN ONE INCH IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. SHOULD ANY SOIL AMENDMENT BE NECESSARY, THE CONTRACTOR SHALL BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- APPLY APPROVED HERBICIDE- ACCORDING TO MANUFACTURERS RATE AND SPECS WITHIN LIMITS OF ALL AREAS TO BE PLANTED. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY OR SPRAY WITHIN ROOT ZONE. CONTRACTOR TO ENSURE TOTAL WEED ERADICATION.
- SCARIFY SUBSOIL TO A DEPTH OF 3 INCHES.
- PLANTING MIX FOR TREES, SHRUBS, AND GROUNDCOVERS SHALL CONSIST OF A THOROUGHLY BLENDED MIXTURE OF:
  - 20% TOPSOIL
  - 10% PEAT OR COMPOST
  - 70% SAND
- PLANTING MIX FOR BACKFILL AROUND ROOT BALLS OF PALMS:
  - 90% NATIVE SAND FROM ON SITE OR APPROVED SUBSTITUTE
  - 10% TOPSOIL
- FERTILIZE ALL TREES, SHRUBS AND GROUND COVER WITH PLANTING TABLETS 20-20-5 FORMULA, 21 GRAM.
- ALL SHRUB BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 24" AND BACK FILLED WITH THE SPECIFIED MIXTURE.
- SMOOTH ALL PREPARED TOPSOIL TO 3" EXCEPT WITHIN DRIP LINES OF EXISTING TREES AND 4" BELOW TOP OF SURROUNDING PAVING EDGES. REMOVE ALL ROCKS AND OTHER OBJECTS OVER 1" IN DIAMETER.
- FINISH GRADE ALL PREPARED TOPSOIL AREAS TO A SMOOTH, EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM THE STRUCTURES AND ELIMINATE ANY LOW AREAS WHICH MAY COLLECT WATER.
- TOPSOIL SHALL NOT BE EXTREMELY ACIDIC OR ALKALINE, NOR CONTAIN ANY TOXIC SUBSTANCE WHICH MAY BE HARMFUL TO PLANT GROWTH. THE PH SHALL BE IN THE RANGE OF 5.5-6.5.
- CONTRACTOR SHALL MULCH ALL PLANTING MATERIAL THROUGHOUT AND COMPLETELY TO A 3 INCH DEPTH WITH CLEAN, WEED FREE FLORAMULCH.

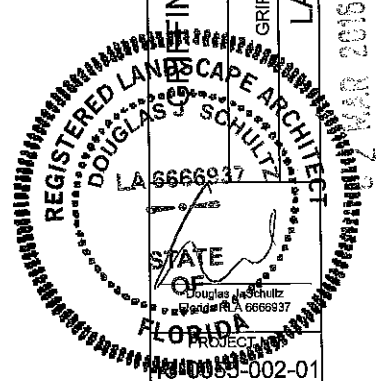
# IRRIGATION NOTES:

- XERISCAPE PRINCIPLES HAVE BEEN APPLIED TO THIS LANDSCAPE PLAN AS SPECIFIED IN SFWMD'S XERISCAPE PLANT GUIDE II AND SHALL BE APPLIED ALL THROUGHOUT LANDSCAPE INSTALLATION AND MAINTENANCE.
- THE CONTRACTOR SHALL MAINTAIN TEMPORARY IRRIGATION OR PROVIDE HAND WATERING FOR ALL RELOCATED TREES AND PALMS FROM NOTICE TO PROCEED UNTIL PERMANENT IRRIGATION SYSTEM IS OPERABLE.
- THE IRRIGATION SYSTEM SHALL BE CONFIGURED TO ACCOMMODATE EXISTING TREES AND PALMS.
- ALL LANDSCAPED AREAS MUST BE IRRIGATED IN ACCORDANCE WITH ALL LOCAL/ COUNTY REQUIREMENTS.
- REMOVE EXISTING IRRIGATION EQUIPMENT WHICH INTERFERES WITH ANY CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, CONTROLLERS, SPRINKLER HEADS, PIPE, QUICK COUPLERS, BACKFLOW PREVENTERS, CONTROL WIRE AND CONDUITS. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING SYSTEM THROUGHOUT THE CONSTRUCTION PROCESS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. INSPECT IRRIGATION SYSTEM AND INSURE THAT ADEQUATE WATER IS AVAILABLE BEFORE BEGINNING PLANTING OPERATIONS. IRRIGATION SYSTEMS WILL NOT PROVIDE SUFFICIENT QUANTITIES OF WATER FOR NEWLY PLANTED MATERIALS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DEEP ROOT HAND WATERING.
- SEE IRRIGATION PLANS FOR ADDITIONAL NOTES AND DETAILS.

DATE	SCALE	DESIGN BY	DRAWN BY	CHECKED BY	APPROVED BY
11-24-15		DJS	MRC	DJS	DJS
1. LONG DESCRIPTIONAL		1. LONG DESCRIPTIONAL			
2. REVISIONS PER PER COMMENTS		2. REVISIONS PER PER COMMENTS			
DATE		DATE			

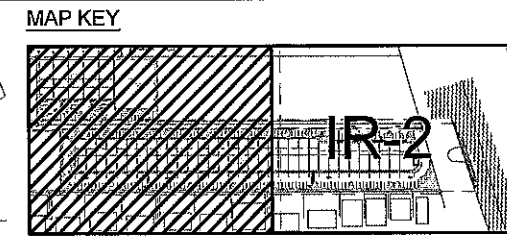
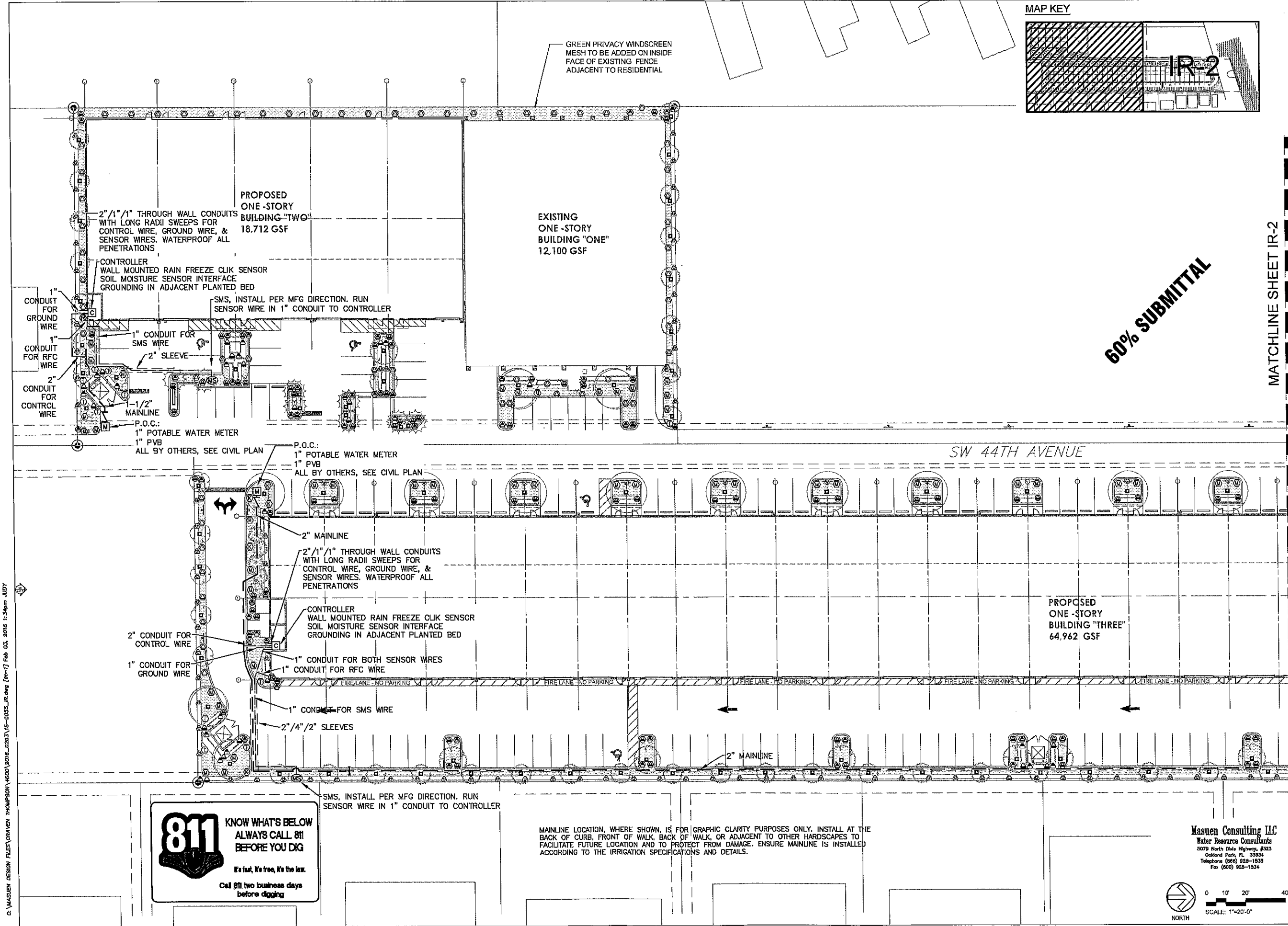
GRAVEN • THOMPSON AND ASSOCIATES, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 3365 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
 TEL: (954) 731-6400  
 FAX: (954) 731-6400  
 FLORIDA LICENSED ENGINEERING SURVEYING & MAPPING BUSINESS NO. 271  
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014  
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PREPARED FOR:  
 GRIFFIN COMMERCIAL CENTER, LLC  
 DANIA BEACH, FLORIDA



Mr. J. Langs\_Visitpage [2015]19-0005 Griffin New River Center Drawings [5]-0005\_LP.dwg [1]-4] Mar 01, 2016 5:09pm HDSPRMANVO

C:\MASUEN DESIGN FILES\GRAVENEY THOMPSON\4600\2016\_0003\15-0055\_IR.dwg [R-1] Feb 03, 2016 11:54pm AJDY



60% SUBMITTAL

MATCHLINE SHEET IR-2

DATE:	01-08-19
SCALE:	AS SHOWN
DESIGNED BY:	JMU
DRAWN BY:	JMU
CHECKED BY:	TKM
APPROVED BY:	MAW
BY:	
DATE:	
DESCRIPTION:	

GRAVENEY THOMPSON AND ASSOCIATES, INC.  
 ENGINEERS • PLANNERS • SURVEYORS  
 3503 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
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 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271  
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. 0000114

GRIFFIN COMMERCIAL CENTER  
 DANIA BEACH, FLORIDA

PREPARED FOR:  
 GRIFFIN COMMERCIAL CENTER, LLC

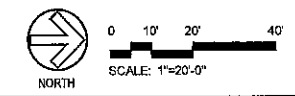
IRRIGATION PLAN

Masuen Consulting LLC  
 Water Resource Consultants  
 5079 North Dixie Highway, #325  
 Ocala, FL 32304  
 Telephone (860) 828-1533  
 Fax (860) 828-1534

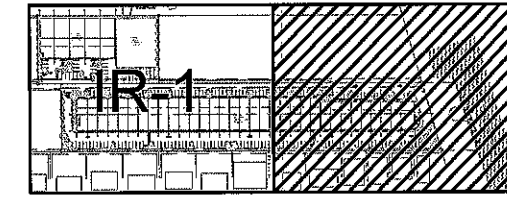
Douglas J. Schultz  
 Florida RLA 6668937

PROJECT NO.  
 15-0055-002-01

IR-1  
 SHEET 1 OF 4



MAP KEY



DATE	01-06-16
SCALE	AS SHOWN
DESIGN BY	JMJ
DRAWN BY	JMJ
CHECKED BY	TCM
APPROVED BY	MAW

IRRIGATION LEGEND

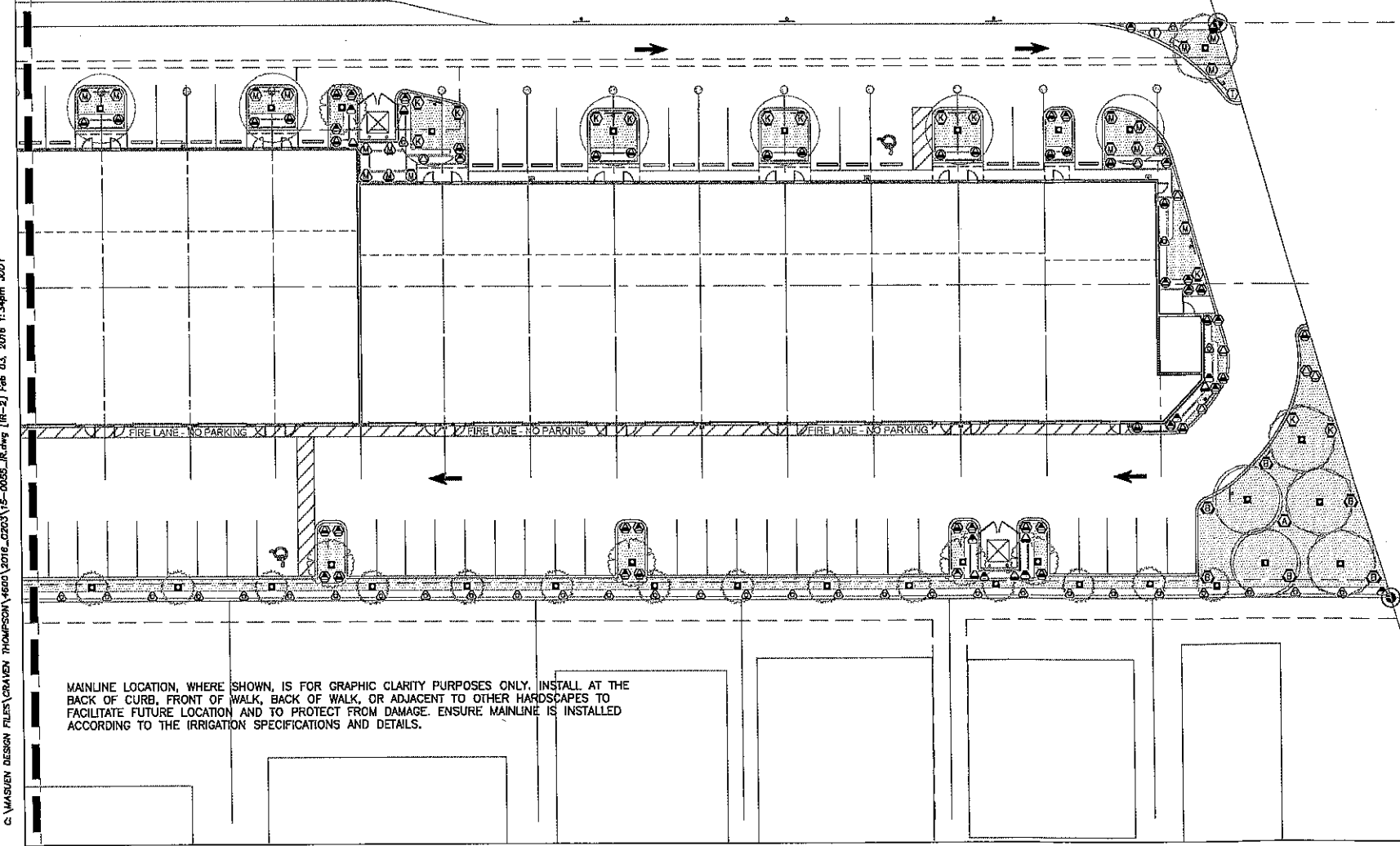
QTY	SYM	DESCRIPTION	DET.
01		GALLONS PER MINUTE-CATALOG FLOW	
		VALVE SIZE	
2	M	LINE SIZE BY 2" TAP, MAXIMUM 10' OF 2" POLYETHYLENE SERVICE LINE AND A PROPOSED 1" POTABLE WATER METER (ALL BY OTHERS, SEE CIVIL PLAN)	
2	⚡	1" FEBCO B25Y REDUCED PRESSURE BACKFLOW ASSEMBLY (BY OTHERS, SEE CIVIL PLAN)	
	⊕	RAIN BIRD PEB SERIES RCV (SIZED PER PLAN) WITH A NIBCO T-113 GATE VALVE IN A CARSON 1220 JUMBO VALVE BOX WITH BOLT DOWN LID.	B1
	⊕	RAIN BIRD PEB SERIES REMOTE CONTROL VALVE WITH A NIBCO T-113 GATE VALVE & METAFIM MANUAL DISC FILTER MODEL DF100/150/200 (PER MFG DIRECTION)-140, EACH IN A SEPARATE CARSON 1220 JUMBO VALVE BOX W/ BOLT DOWN LID.	B1 B2
2	C	RAIN BIRD ESP-LXME WALL MOUNT 'B' STATION CONTROLLER, GROUNDING GRID, RAIN/FREEZE CLK SENSOR MODEL #RFC AND BASELINE WATERTEC S100 SOIL MOISTURE SENSOR INTERFACE MOUNTED ADJACENT TO CONTROLLER	C1
2	R	HUNTER RAIN/FREEZE CLK SENSOR MODEL #RFC WALL/EAVE MOUNTED OUTSIDE OF IRRIGATION SPRAY REACH	C2
2	MS	BASELINE WATERTEC S100 SOIL MOISTURE SENSOR BISENSOR INSTALLED ON SITE PER MANUFACTURER'S RECOMMENDATIONS. COMMUNICATION WIRE TO BE CONNECTED TO SMS INTERFACE AT CONTROLLER VIA 1" CONDUIT	C3
1	D	NIBCO T-113 BRASS MAINLINE ISOLATION VALVE (LINE SIZE) IN A CARSON 1419 VALVE BOX.	D
	L	CLASS 200 PVC LATERAL LINE W/ SCH 40 SOLVENT WELD PVC FITTINGS (SIZE PER PLAN, MINIMUM PIPE SIZE SHALL BE 3/4", NO 1/2" PIPES PERMITTED)	L
	L	SCHEDULE 40 SOLVENT-WELD PVC MAINLINE W/SCH 40 SOLVENT-WELD PVC FITTINGS (SIZE PER PLAN)	L
	SCH	SCH 40 GRAY PVC CONDUIT W/SCH 40 SOLVENT-WELD PVC FITTINGS, SHOWN WHERE NOT WITH MAINLINE (SIZE PER PLAN)	
	O	CLASS 200 PVC SLEEVES W/SCH 40 SOLVENT-WELD PVC FITTINGS (SIZE PER PLAN)	O

IRRIGATION HEAD LEGEND

SYMBOL QUANTITY SYMBOL	DESCRIPTION	DETAIL	DESIGN PSI	DESIGN GPM	PER SYMBOL
105	EACH SYMBOL DENOTES TWO (2) RAIN BIRD 1804-SAM-1401 FLOOD BUBBLERS	D	30	0.50	
14	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MPCORNERHT NOZZLE ADJ ARC 0-90	R	30	VAR	
57	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MP1000 NOZZLE NAROOON ADJ ARC 90-210	R	30	VAR	
1	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MP1000 NOZZLE NAROOON ADJ ARC 90-210	S	30	VAR	
4	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MP1000 NOZZLE NAROOON ADJ ARC 90-210 ON SCH 40 RISER	T	30	VAR	
18	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MP2000 NOZZLE BLACK ADJ ARC 90-210	R	30	VAR	
6	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MP3000 NOZZLE BLUE ADJ ARC 90-210	R	30	VAR	
1	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MP3000 NOZZLE GRAY ARC 360	R	30	3.15	
44	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE RST	R	30	VAR	
44	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE LST	R	30	VAR	
62	RAIN BIRD 1806-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE SST	R	30	VAR	
18	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE RST	S	30	VAR	
57	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE LST	S	30	VAR	
5	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MPSTRIP NOZZLE SST	S	30	VAR	
27	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE LST ON SCH 40 RISER	T	30	VAR	
24	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MPCORNER NOZZLE RST ON SCH 40 RISER	T	30	VAR	
111	RAIN BIRD 1812-SAM-PRS-30 W/ HUNTER MPSTRIP NOZZLE SST ON SCH 40 RISER	T	30	VAR	

MATCHLINE SHEET IR-1

QUANTITIES GIVEN ARE FOR CONTRACTOR CONVENIENCE ONLY. THE ACCURACY IS NOT GUARANTEED. ALL QUANTITIES SHALL BE VERIFIED.  
\*DET (ON THE LEGEND) - THE LETTER IN THIS COLUMN DENOTES THE CORRESPONDING DETAIL SHOWN ON THE DETAIL SHEET.



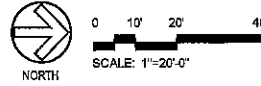
MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO THE IRRIGATION SPECIFICATIONS AND DETAILS.

C:\MASUEN\DESIGN FILES\CRAVEN THOMPSON\1600\2016\_CD003\15-0055\_IR.dwg (IR-2) Feb 03, 2016 11:34pm JUDY

**811** KNOW WHAT'S BELOW  
ALWAYS CALL 811 BEFORE YOU DIG  
It's fast, it's free, it's the law.  
Call 811 two business days before digging

**60% SUBMITTAL**

Masuen Consulting LLC  
Water Resource Consultants  
5079 North Dale Highway, #323  
Ocala, FL 33324  
Telephone (850) 928-1333  
Fax (800) 928-1534

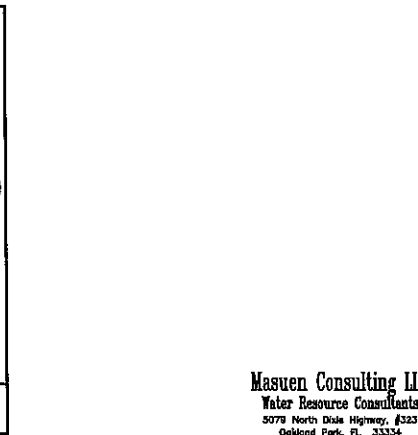
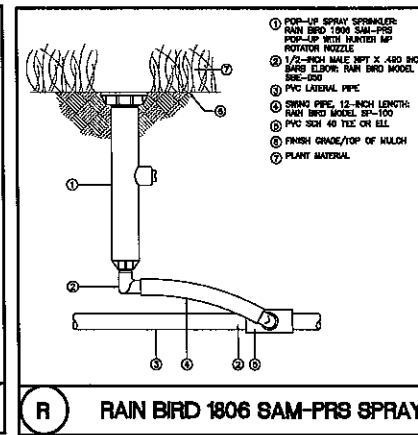
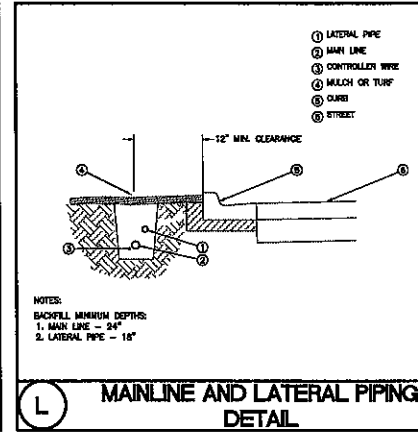
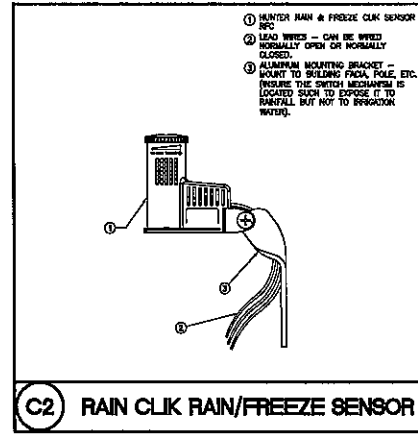
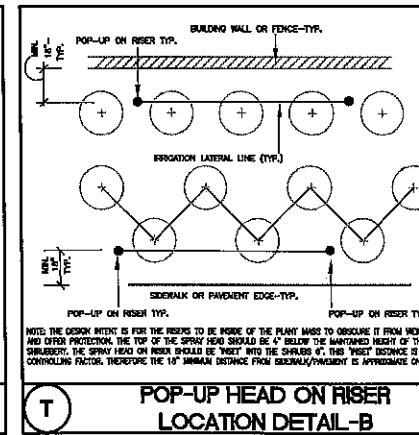
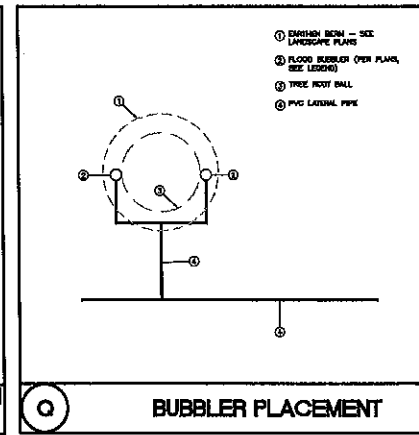
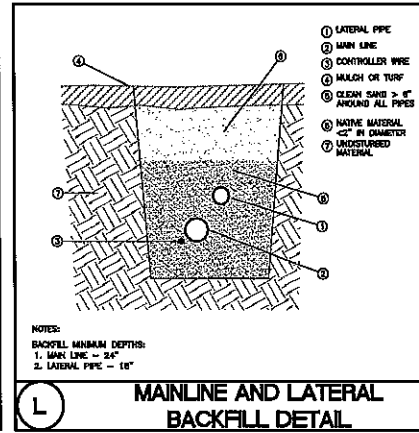
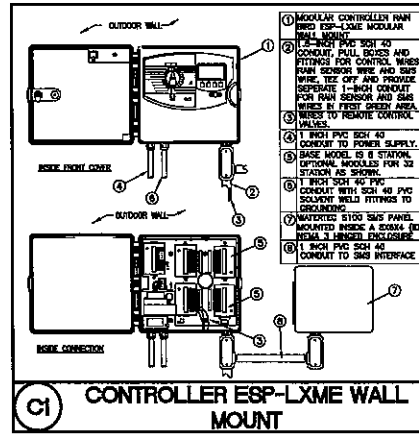
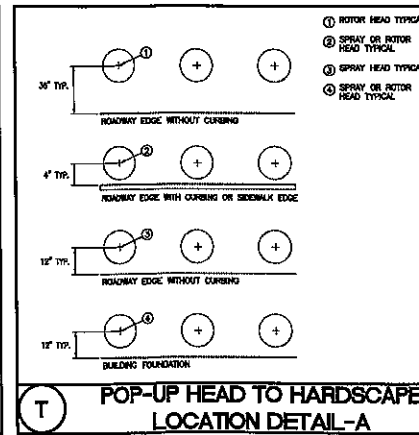
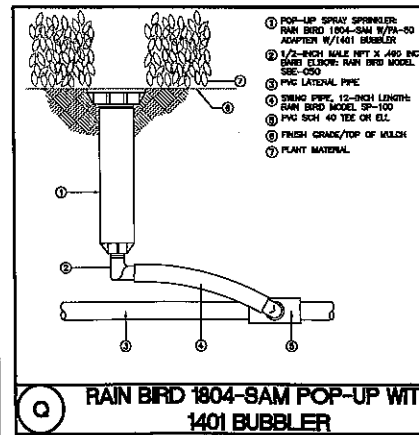
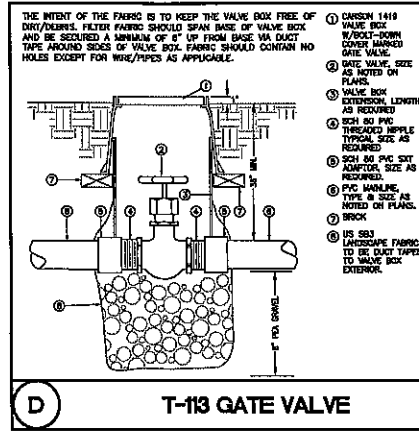
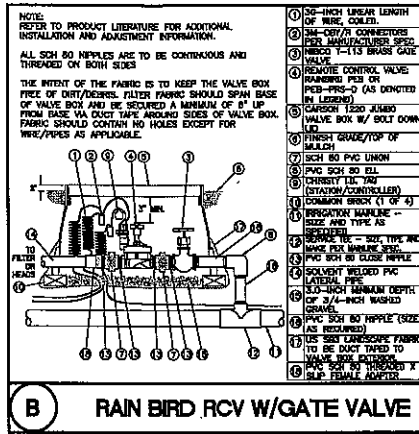
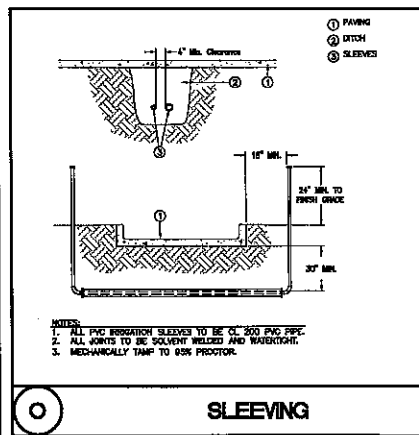
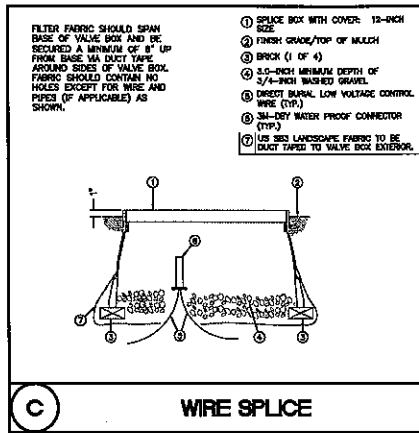
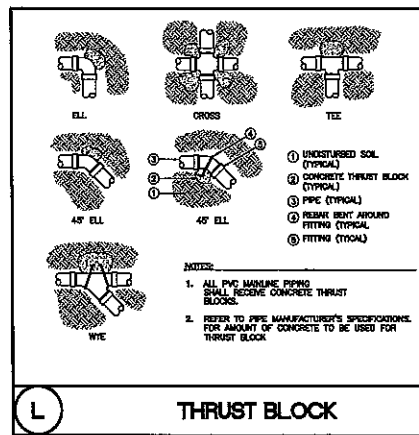
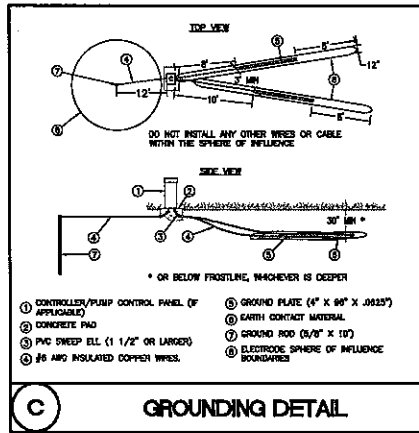
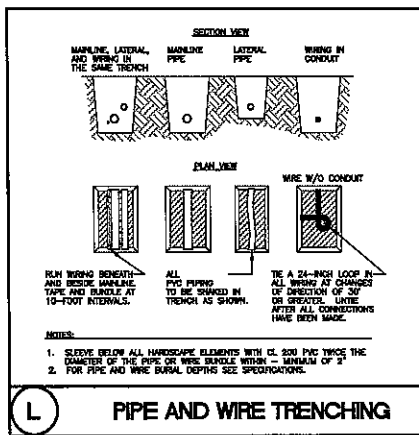
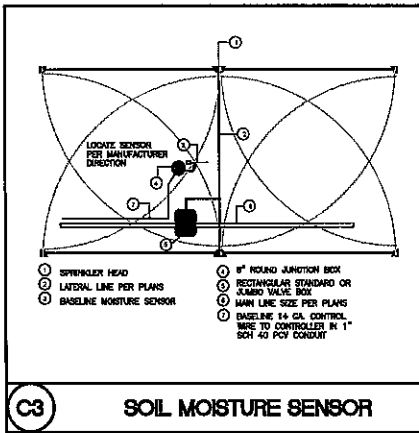


CRAVEN - THOMPSON AND ASSOCIATES, INC.  
ENGINEERS - PLANNERS - SURVEYORS  
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309  
TEL: (954) 735-6400  
FAX: (954) 735-6400  
FLORIDA LICENSED ENGINEERING SURVEYING & MAPPING BUSINESS NO. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114  
CRAVEN - THOMPSON AND ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER.

GRIFFIN COMMERCIAL CENTER  
DANIA BEACH, FLORIDA  
PREPARED FOR:  
GRIFFIN COMMERCIAL CENTER, LLC  
IRRIGATION PLAN

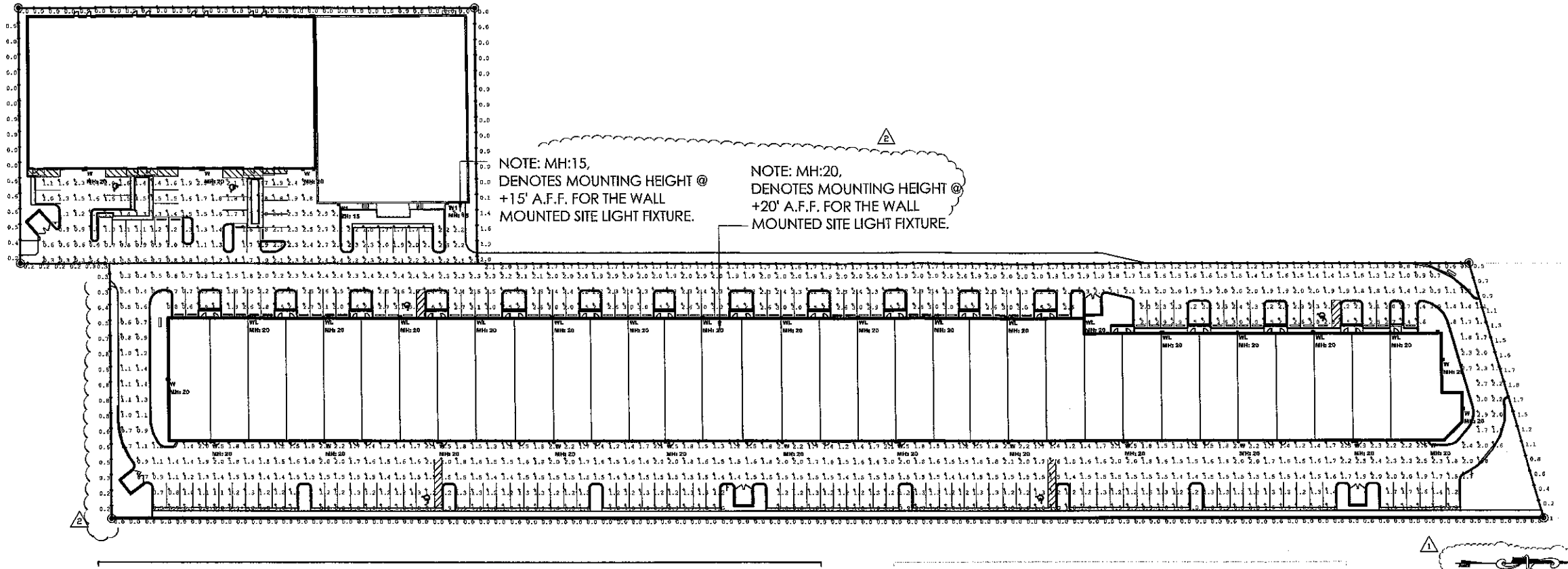
PROJECT NO.  
15-0055-002-01

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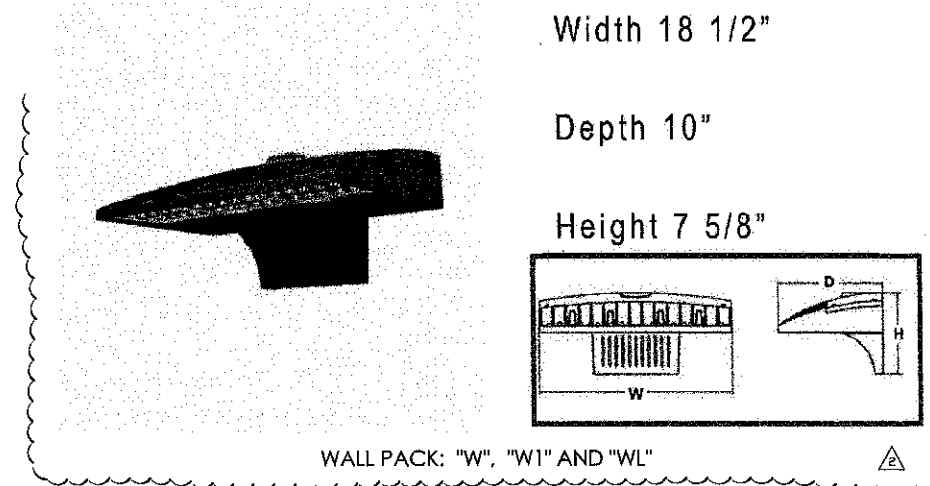
Masuen Consulting LLC  
Water Resource Consultants  
5079 North Dixie Highway, #323  
Deltona Park, FL 32734  
Telephone (800) 528-1533  
Fax (800) 528-1534

DATE:	01-05-19	APPROVED BY:	MAW
SCALE:	AS SHOWN	CHECKED BY:	TRM
DESIGN BY:	JMJ	DRAWN BY:	JMJ
DESCRIPTION:		DATE:	
GRAFFEN THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3503 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 TEL: (954) 739-4400 FAX: (954) 739-4406		DATE:	
FLORIDA LICENSE NO. 16038 FLORIDA LICENSE NO. 16038 FLORIDA LICENSE NO. 16038		DATE:	
GRIFFIN COMMERCIAL CENTER DANIA BEACH, FLORIDA		DATE:	
PREPARED FOR: GRIFFIN COMMERCIAL CENTER, LLC		DATE:	
IRRIGATION DETAILS		DATE:	
Douglas J. Schultz Florida RLA 6669937		DATE:	
PROJECT NO. 15-0055-002-01		DATE:	
SHEET 3 OF 4		DATE:	



Site Photometric Plan

Scale: 1" = 40'-0" 03



WALL PACK: "W", "W1" AND "WL"

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking and Drive	Illuminance	Fc	1.70	3.1	0.3	5.67	10.33
Property Line	Illuminance	Fc	0.52	2.1	0.0	N.A.	N.A.

Calc. Summary

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	(MANUFAC)	Description	Imm. Lumens	LLF	Imm. Watts
+	18	N	SINGLE	Lithonia Lighting	DSXW2 LED 30C 1000 40X 74H MVOLT	8610	0.860	100
+	2	W1	SINGLE	Lithonia Lighting	DSXW1 LED 20C 1000 40X 74H MVOLT	6067	0.860	73.2
+	16	WL	SINGLE	Lithonia Lighting	DSXW2 LED 30C 1000 40X 74H MVOLT	8610	0.860	100

Luminaire Schedule

CONSULTANT  
 STATE OF FLORIDA  
 REGISTERED ARCHITECT  
 Gregory B. Moore  
 FL REG. # AR 63354  
 DATE: \_\_\_\_\_  
 EXPIRES: 2024  
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 ARCHITECTURE  
 11000 W. BOCA RATON BLVD.  
 BOCA RATON, FL 33433  
 (561) 991-1100  
 WWW.GBMARCHITECTURE.COM

200 E. BAY DR. APT. 1001, UNIT 1001  
 FORT LAUDERDALE, FLORIDA 33315  
 T: 954.713.6101  
 F: 954.813.6900  
 E: GREGORY@GBMARCHITECTURE.COM  
 WWW.GBMARCHITECTURE.COM

GRIFFIN COMMERCE CENTER  
 DANIA BEACH, FLORIDA  
 PREPARED FOR:  
 GRIFFIN COMMERCE CENTER, LLC

DRAWING ISSUE DATES:  
 A 01-07-16 DRG RESPONSES  
 B 02-04-16 DRG RESPONSES

SITE PLAN  
 PHOTOMETRIC

SHEET  
**PH-1**  
 PROJECT 151109  
 DRG DATE 11-25-15  
 DRG CASE NO.

2-10-16

